

MISSION STATEMENT: “The City of Mound, through teamwork and cooperation, provides, at a reasonable cost, quality services that respond to the needs of all citizens, fostering a safe, attractive and flourishing community.”

**MOUND PLANNING COMMISSION
REGULAR MEETING AGENDA
TUESDAY, APRIL 7, 2026, 6:00 P.M.
COUNCIL CHAMBERS, MOUND CENTENNIAL BUILDING
5341 MAYWOOD ROAD, MOUND, MN**

- 1. Call to Order**
- 2. Roll Call**
- 3. Review and approval of agenda, including any amendments**
- 4. Review and action on meeting minutes**

A. March 3, 2026 regular meeting 1 - 2

5. Board of Adjustment and Appeals

Planning Case No. 26-01 3 - 36
Conditional Use Permit for Essential Service Building on City Parcel with
PID No. 23-117-24-31-0077 for New Water Treatment Facility
Applicant: City Engineer Bolton & Menk on behalf of City of Mound

6. Old / New Business

- A. Review/discussion of proposed code updates
- i. Corner lot requirements (*continued from March 3rd meeting*) 37 - 39
 - ii. ADA parking stall requirements 40
 - iii. Humane pet store regulations 41 - 43

B. City Council Liaison and Staff Project Update / Report

7. Information Items - None

8. Adjourn

The Planning Commission is an advisory body to the City Council. One of the Commission’s functions is to hold public hearings and make recommendations to the City Council. The City Council makes all final decisions on these matters. Mound City Ordinances require that certain documents and information be included in applications. The Planning Commission may postpone consideration of an application that is incomplete and may for other reasons postpone final action on an application. For each agenda item the Commission will receive reports prepared by the City staff, open the hearing to the public, and discuss the action on the application.”

QUESTIONS: Call Sarah Smith at 952-472-0604

MEETING MINUTES
REGULAR PLANNING COMMISSION
MARCH 3, 2026

1. Call to Order

Chair Goode called the meeting to order at 6:04 p.m.

2. Roll Call

Members present: David Goode, Nick Rosener, Jason Baker, Samantha Wacker, Kristin Young and Kathy McEnaney

Members absent: Drew Heal

Staff present: Rita Trapp and Sarah Lenz

Others present: Helen Canning (5926 Beachwood Road)

3. Review and approval of agenda, including any amendments

MOTION by Baker, seconded by Rosener, to approve the agenda as distributed. **MOTION** passed unanimously.

4. Review and action on meeting minutes

A. January 6, 2026 regular meeting

MOTION by Baker, seconded by Rosener, to approve the January 6, 2026 regular meeting minutes as distributed. **MOTION** passed unanimously.

B. February 17, 2026 concurrent special meeting with City Council

MOTION by Baker, seconded by Rosener, to approve the February 17, 2026 concurrent special meeting with City Council meeting minutes as distributed. **MOTION** passed unanimously.

5. Board of Adjustment and Appeals – None

6. Old / New Business

A. Review/discussion – 2026 Planning Commission Work Plan and Staff Project List

Trapp provided estimated time frames for items listed in the Work Plan and explained they may be discussed in a different order than listed.

MOTION by Baker, seconded by Rosener, to approve the 2026 Planning Commission Work Plan and Staff List as distributed. **MOTION** passed unanimously.

B. Review/discussion – Corner Lot Requirements

Trapp introduced the proposed zoning code amendments related to corner yards. The amendments were prepared based on previous input from the Planning Commission. Changes proposed include updates to definitions, district requirements, and accessory buildings.

In reviewing the proposed changes to the definitions, Commissioner Baker suggested that the front lot line definition be modified to remove the reference to the applicant determining the front lot line if both lot lines are the same length. Baker also suggested staff consider whether the definition should state that the Community Development Director would file the determination in the City property file.

Commissioners asked clarifying questions about the different types of side yards. Trapp noted that the proposed code includes a street side yard which focuses on the lot lines that are adjacent to a street. Trapp then introduced the proposed revisions to the corner lot requirements in section 129-197. The primary change is to establish standards for the street side yard setbacks that are different than the front yard setback. Trapp noted that one clarification throughout the code updates is the formatting of the tables where care was taken to be clearer about the categories by adding less than and greater than. Commissioner Baker asked for clarification regarding front lot line length since it is referred to as lot width in a later table. Trapp noted that staff would review the terminology as she agreed that a consistent term is recommended. Initial thoughts are that lot width may be more appropriate since the front lot line length occasionally is fairly small, such as with a cul-de-sac lot. With a cul-de-sac the lot width is measured at the setback line not at the street.

In addition to changes to the required yard section, Trapp noted that changes are needed for specific residential zoning districts. The changes in these sections are similar with clarification for street side yards and the clarifications for the tables.

Trapp noted that there are also a couple of changes needed to section 129-194 regarding accessory buildings. In particular, the code revisions focus on clarifying that detached accessory buildings shall meet the street side yard setback of principal buildings. Commissioner Baker noted that it may be helpful to clarify that it is the street side yard setback rather than just the street side setback.

Trapp noted that next steps will be to make revisions based on commissioner comments. Then preparations will be made for a public hearing to consider the proposed code revisions.

C. City Council Liaison and Staff Project Update / Report

McEnaney said talked about a concept presentation presented at the Council Meeting for a senior living facility possibility stating the main concerns are resident fall calls and density concerns.

- March 7th is the Beat Hunger Bash from 6:30 – 11:00pm at the Gillespie Center. Admission is \$65.00
- March 10th, the next Council Meeting, will include the annual state of the water information
- March 14th is the Lion's Club Chili Cookoff starting at 11:00am at the Gillespie Center
- April 23rd will be the State of the City Open House

7. Information Items - None

8. Adjourn

MOTION by Baker, seconded by Rosener, to adjourn at 6:45 p.m. **MOTION** passed unanimously.

Submitted by Sarah Lenz



PLANNING REPORT

TO: Planning Commission
FROM: Rita Trapp and Mia Colloredo-Mansfeld, Consulting Planners
 Sarah Smith, Community Development Director
DATE: April 1, 2026
SUBJECT: Consideration of a Conditional Use Permit for the construction of a new water treatment plant
APPLICANT: Bolton & Menk on behalf of the City of Mound
PLANNING CASE: 26-01
LOCATION: PID No. 23-117-24-31-0077 – South of Sorbo Park
MEETING DATE: April 7, 2025
COMPREHENSIVE PLAN: Park and Open Space
ZONING: R-1 Single-Family Residential District

SUMMARY

The City of Mound has submitted an application for a Conditional Use Permit (CUP) to allow the construction of a new water treatment plant on the 4 acre property at PID 23-117-24-31-0077. The property has access through a dedicated right-of-way along the east side of Sorbo Park (6125 Evergreen Road) to Evergreen Road.

According to City Code Sec. 129-200, Essential Service Buildings are a conditional use in all Zoning Districts and are defined in City Code Sec. 129-2 as follows:

“Any building or similar structure designed and constructed to house or serve an Essential Service or public utility and necessary for the operation thereof. The term includes, without limitation, publicly–owned water well houses, sewer lift stations and water towers.”

The proposed project does not require any additional variances, easements, or alterations to neighboring parcels as the driveway is proposed in an existing right-of-way.

REVIEW PROCEDURE

60-Day Land Use Application Review Process

Pursuant to Minnesota State Statutes Section 15.99, local government agencies are required to

approve or deny land use requests within 60 days. Within the 60-day period, an automatic extension of no more than 60 days can be obtained by providing the applicant written notice containing the reason for the extension and specifying how much additional time is needed. For the purpose of Minnesota Statutes Section 15.99, “Day 1” is determined to be March 20, 2026 as provided by Minnesota Statutes Section 645.15. The 60-day timeline expires on or around May 18, 2026. The review period can be extended by the City for an additional 60-days if needed.

PUBLIC HEARING

Planning Commission

The Planning Commission is not required to hold a public hearing for a conditional use permit request. As a courtesy, Staff did send out an informational letter to property owners within 350 feet of the property on March 25, 2026 of the Planning Commission’s consideration of the request at its Tues., April 7, 2026 meeting.

City Council

According to City Code, the City Council is required to hold the public hearing for review of the conditional use permit (Sections 129-39) after completion of the required publication and notification requirements. A City Council public hearing for review of the CUP is scheduled to be held on Tues., April 14, 2026 meeting. The public hearing notice was published in the Laker on March 28, 2026. The public hearing notice was sent to property owners within 350 feet of the property and posted on the bulletin board on March 24, 2026. It was also posted on the City website on March 26, 2026.

STAFF / CONSULTANT / AGENCY / UTILITIES REVIEW

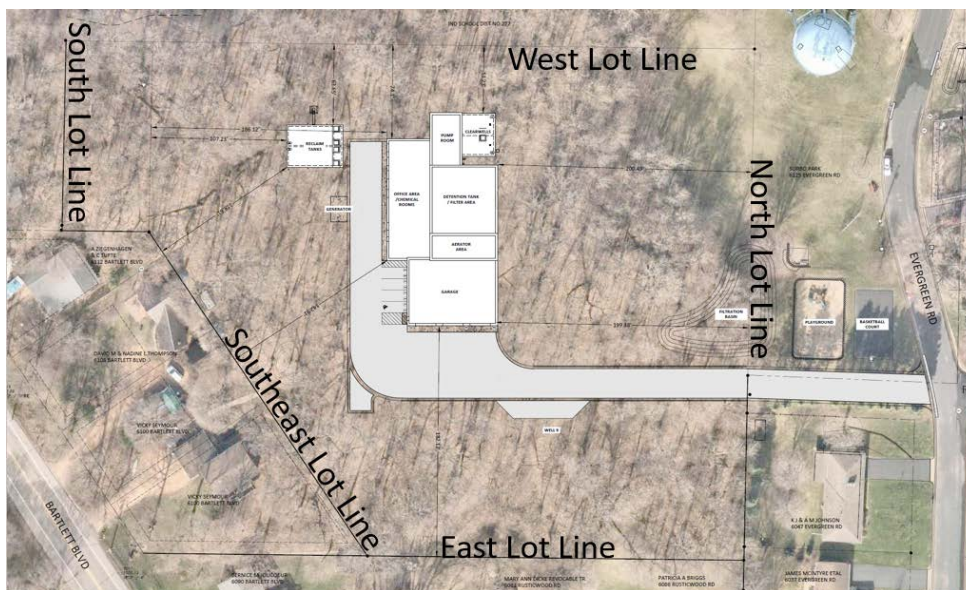
Copies of the request and supporting materials were forwarded to involved departments, consultants, agencies, and private utilities for review and comment. To date, the only comment received was from Chris Remus of MCES, who stated that there are no facilities in the area so they have no comments.

DISCUSSION

- 1) **Access** - The lot is an interior lot with access provided to the north side of the property from Evergreen Rd along the east side of Sorbo Park.
- 2) **Lot and site dimensions** - Per Sec. 129-200 of the City Code, essential service buildings are not subject to lot area, lot width, coverage, and setback requirements contained within the zoning chapter. However, the City may place design, size, location, and coverage restrictions on any CUP and may require coverage and setbacks to conform as close as practical to those required in the underlying zoning district.

Proposed setbacks are as follows:

Lot Line	Proposed Setback
North lot line (adjacent to Sorbo Park and residential properties)	199.48 ft
East lot line (adjacent to residential properties)	182.12 ft
Southeast lot line (adjacent to residential properties)	118.61 ft
South lot line (adjacent to residential properties)	107.23 ft
West lot line (adjacent to vacant property owned by ISD No. 277)	53.23 ft



- 3) **Building Height and Exterior Material** – The building is designed to be less than 35 feet in height as is required in the R-1 district. The exterior building material for the proposed water treatment plant will be brick, which will help it blend in with the surrounding forested area.
- 4) **Screening & Landscaping** - Commissioners should note that existing landscaping on the site and extending to Evergreen has already been largely removed due to the trunk water project previously completed. The proposed water treatment plant will be screened by the existing tree canopy as well as proposed new trees and landscaping, which will lessen the visibility of the building. The landscaping plan provided proposes

adding 28 evergreen trees along the sides of the project area abutting existing residential properties. Existing trees around the exterior of the property will remain.

- 5) **Impervious & Stormwater** – The impervious on the site is proposed to be under 30%. The stormwater treatment is designed to meet MCWD requirements for managing runoff to less than or equal to existing rates and treating the runoff. There is a filtration basin proposed on the north side of the site near the Sorbo Park playground
- 6) **Traffic & Storage** - There will be minimal traffic to this site. The proposed on-site garage will function primarily as storage, reducing noise and activity on the site.

PLANNING COMMISSION ACTION

Staff recommends that the Planning Commission recommend approval of the conditional use permit for the proposed new water treatment plant with the following conditions:

- (1) The City shall be responsible for all required permitting activities.
- (2) All use, development, construction and operation requirements and standards of the Mound City Code shall apply to and regulate the property in all respects.
- (3) Additional comments from the Planning Commission, City Council and Staff.

Staff recommends Planning Commission recommend approval of the conditional use permit based on the following findings of fact:

- (1) The use of the site as a water treatment plant is in keeping with applicable development plans and policies of the City of Mound.
- (2) The physical characteristics of the site are suitable for the type of development and use being proposed.
- (3) The proposed use will not negatively impact the public health, safety, or welfare of the community.

CITY COUNCIL REVIEW

Following review and recommendation from the Planning Commission, the CUP request will be considered by the City Council at its April 14, 2026 meeting to include a public hearing.



CONDITIONAL USE PERMIT APPLICATION

2415 Wilshire Boulevard, Mound, MN 55364
Phone 952-472-0603 FAX 952-472-0620

Application Fee and Escrow Deposit required at time of application.

Planning Commission Case No. _____

Please type or print the following information:

PROPERTY INFORMATION	Subject Address _____
LEGAL DESCRIPTION	Name of Business <u>City of Mound</u>
	Lot(s) <u>Outlot A</u> Block _____
	Subdivision <u>Rustic Place</u> PID# <u>2311724310077</u>
APPLICANT	The applicant is: Owner ___ Other ___ Email _____
	Name <u>Bolton & Menk, Inc.</u>
	Address <u>2638 Shadow Ln, Chaska, MN 55318</u>
	Phone Home _____ Work _____ Cell _____
	E-Mail Address _____ Fax _____
OWNER (if other than applicant)	Name <u>City of Mound</u> Email _____
	Address _____
	Phone Home _____ Work _____ Cell _____
ARCHITECT, SURVEYOR, OR ENGINEER	Name <u>Bolton & Menk, Inc.</u> Email _____
	Address <u>2638 Shadow Ln, Chaska, MN 55318</u>
	Phone Office <u>952-295-2057</u> [REDACTED] <u>612-756-3230</u> Fax _____
ZONING DISTRICT	Circle: R-1 R-1A R-2 R-3 B-1 B-2 B-3

Description of Proposed Use: _____

Water Treatment Plant

Planning Commission Case No. _____

EFFECTS OF THE PROPOSED USE: List impacts the proposed use will have on property in the vicinity, including, but not limited to traffic, noise, light, smoke/odor, parking, and describe the steps taken to mitigate or eliminate the impacts.

This Water Treatment Plant will be naturally screened by an existing tree canopy as well as proposed new trees and landscaping which will lessen the visibility of the building. The exterior materials on this building will also help the structure blend into the woods for even less visibility. Site traffic will remain minimal, and the garage will function primarily as storage, reducing noise and activity. The project respects all surrounding property lines and does not require easements, fence removal, or any alterations to neighboring parcels, as the driveway aligns cleanly with the existing roadway.

If applicable, a development schedule shall be attached to this application providing reasonable guarantees for the completion of the proposed development. Estimated Development Cost of the Project: \$31,000,000

Has an application ever been made for zoning, variance, conditional use permit, or other zoning procedure for this property? () yes, (x) no. If yes, list date(s) of application, action taken, resolution number(s) and provide copies of resolutions.

N/A

Application must be signed by all owners of the subject property, or explanation given why this is not the case.

Matthew S. Bauman



3/12/2026

Print Applicant's Name

Applicant's Signature

Date

Print Owner's Name

Owner's Signature

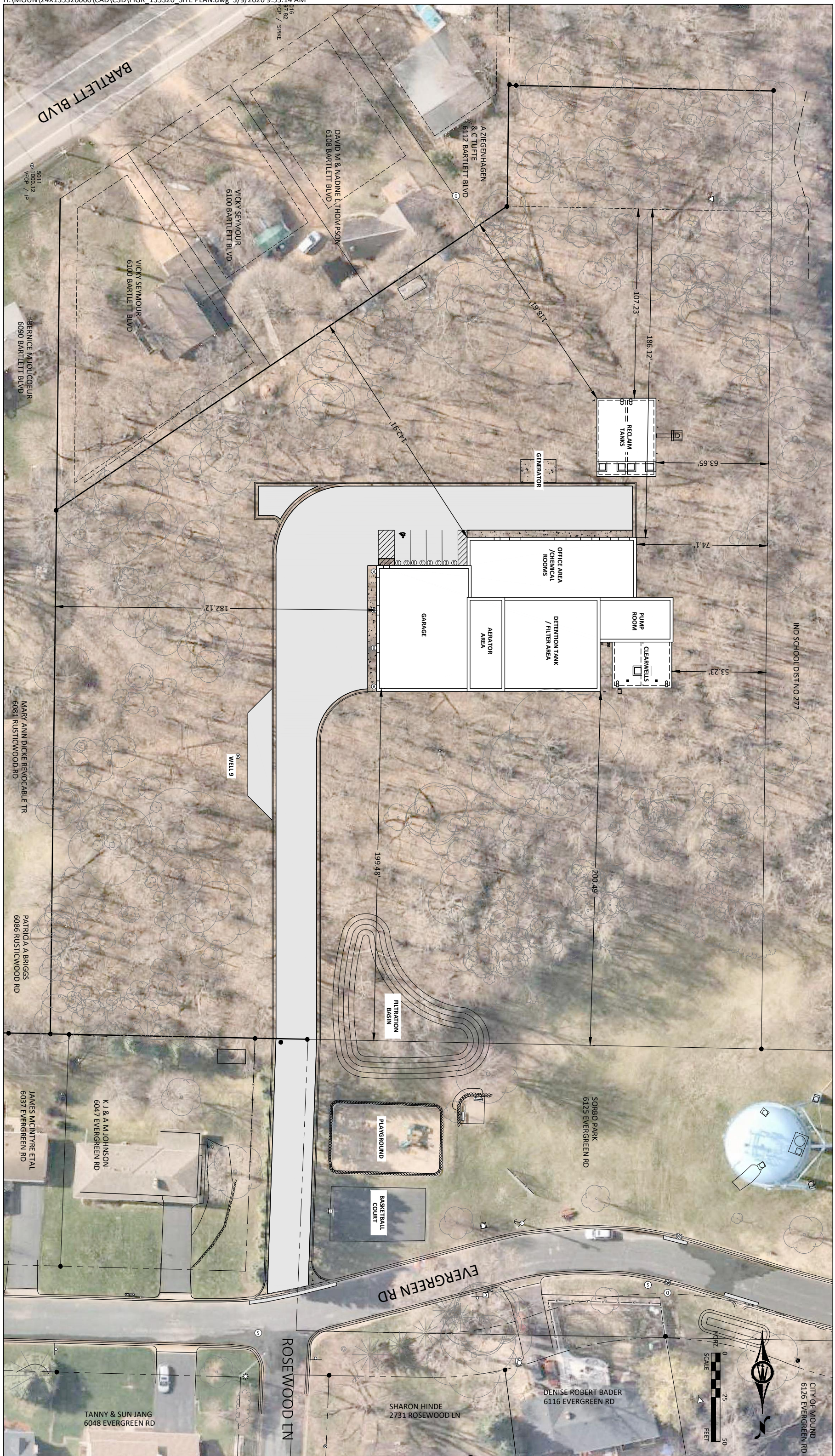
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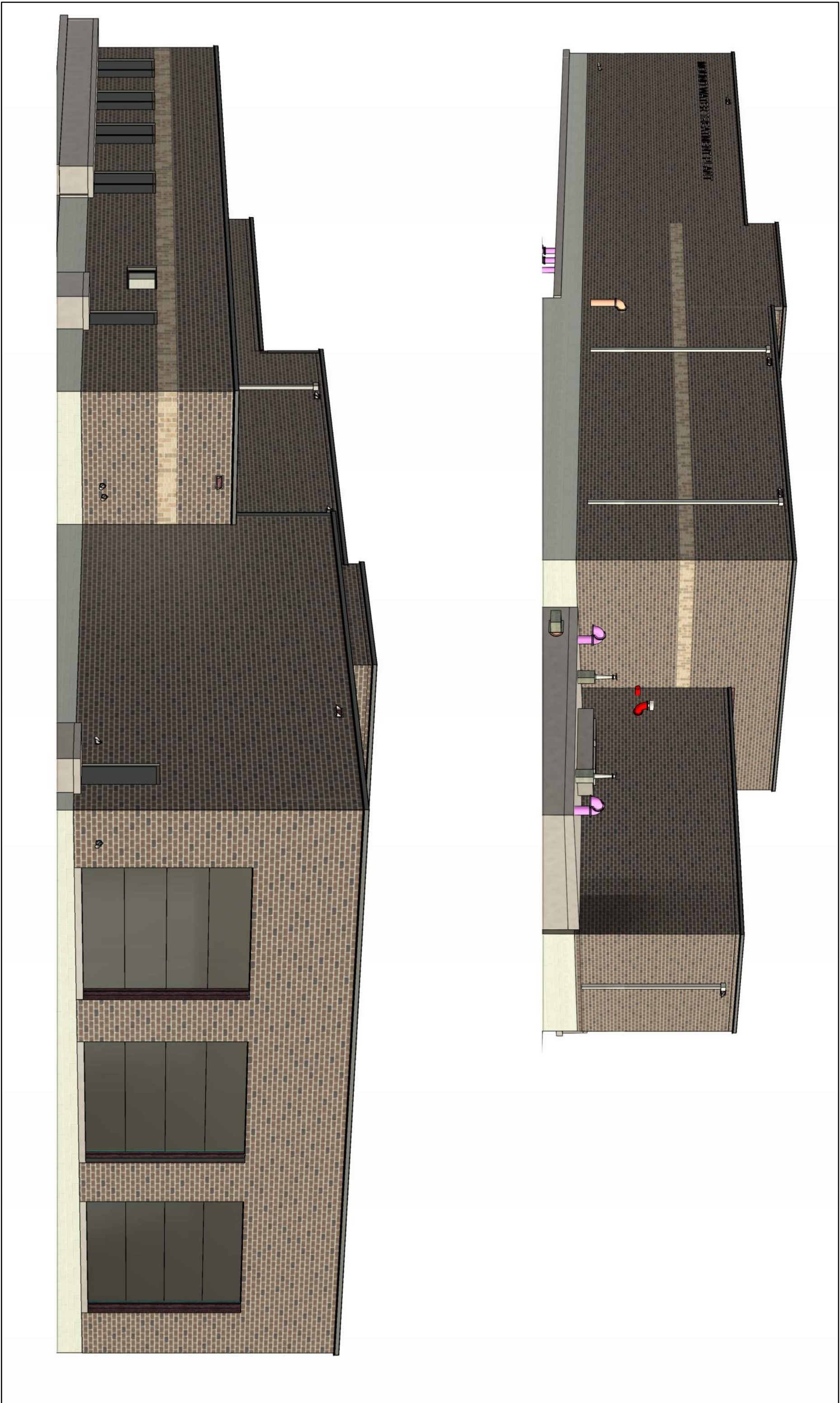
Print Owner's Name

Owner's Signature

Date

City Code Section 129-38 relating to Conditional Use Permits must be reviewed by the applicant.

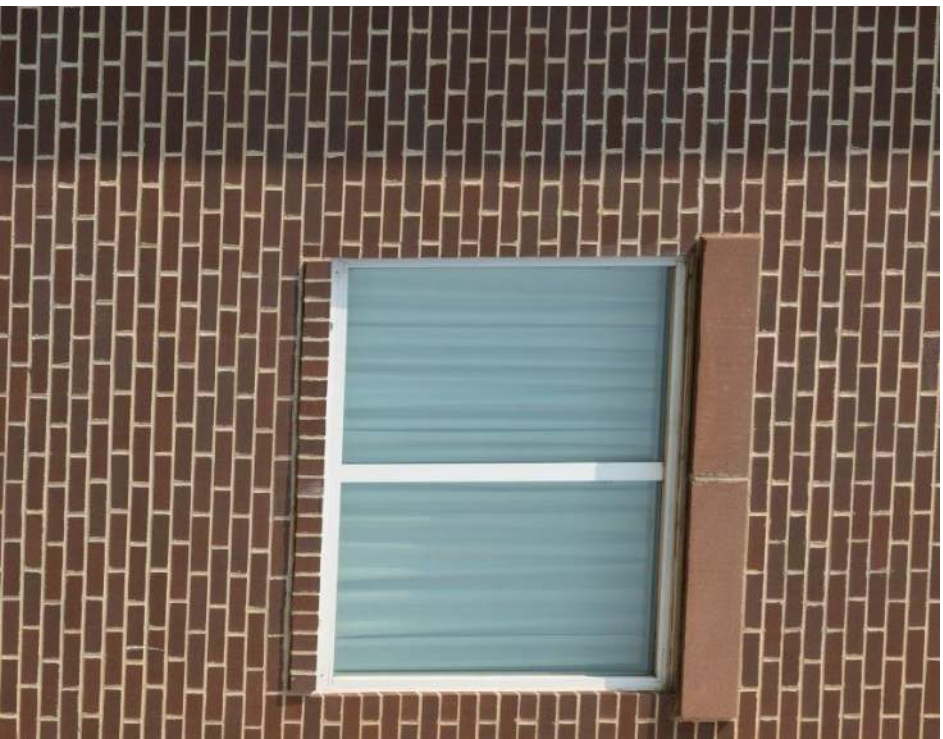
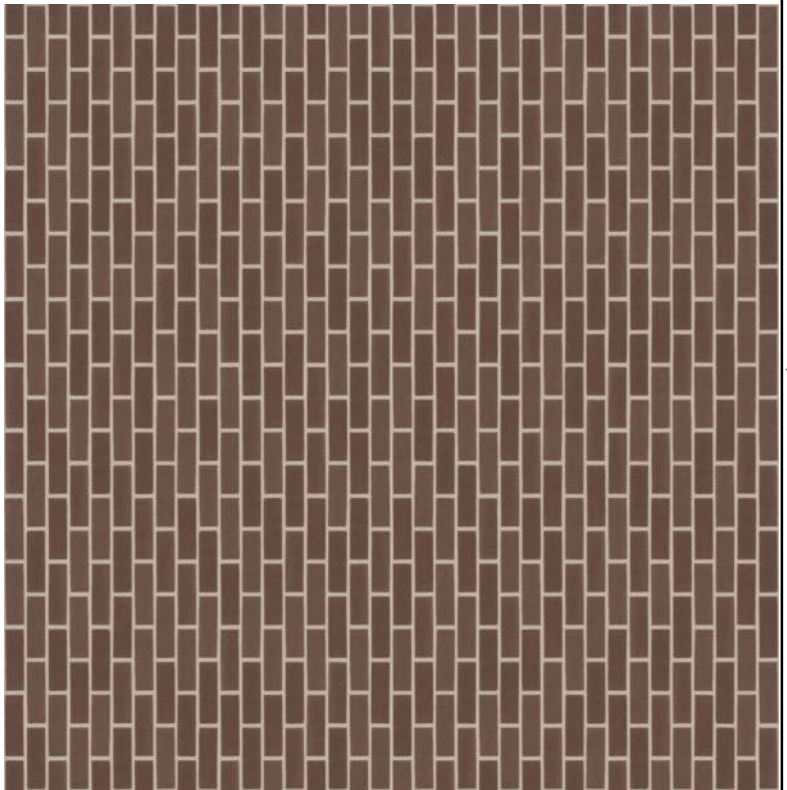




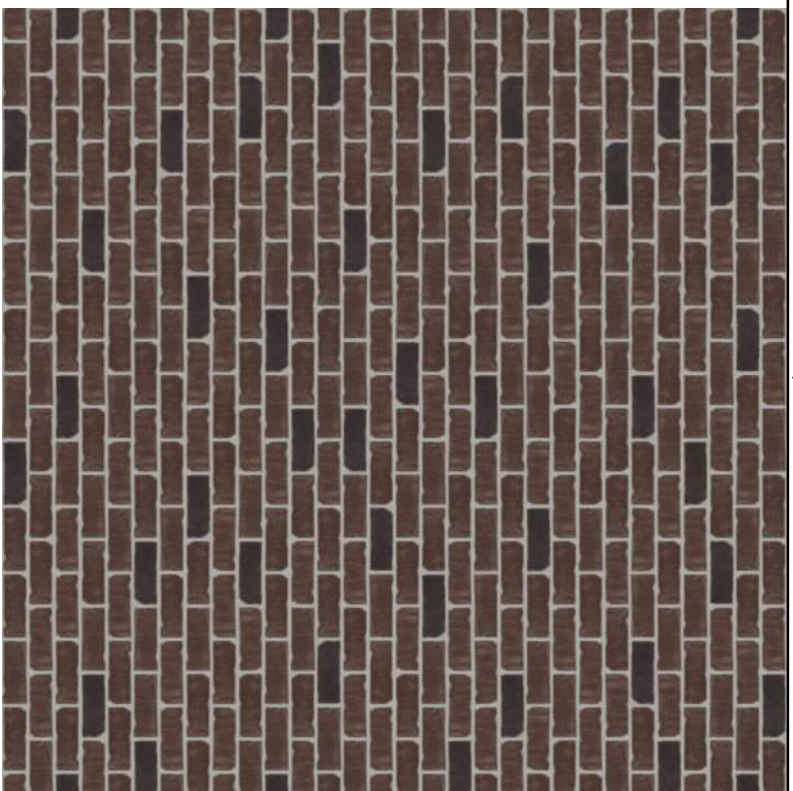
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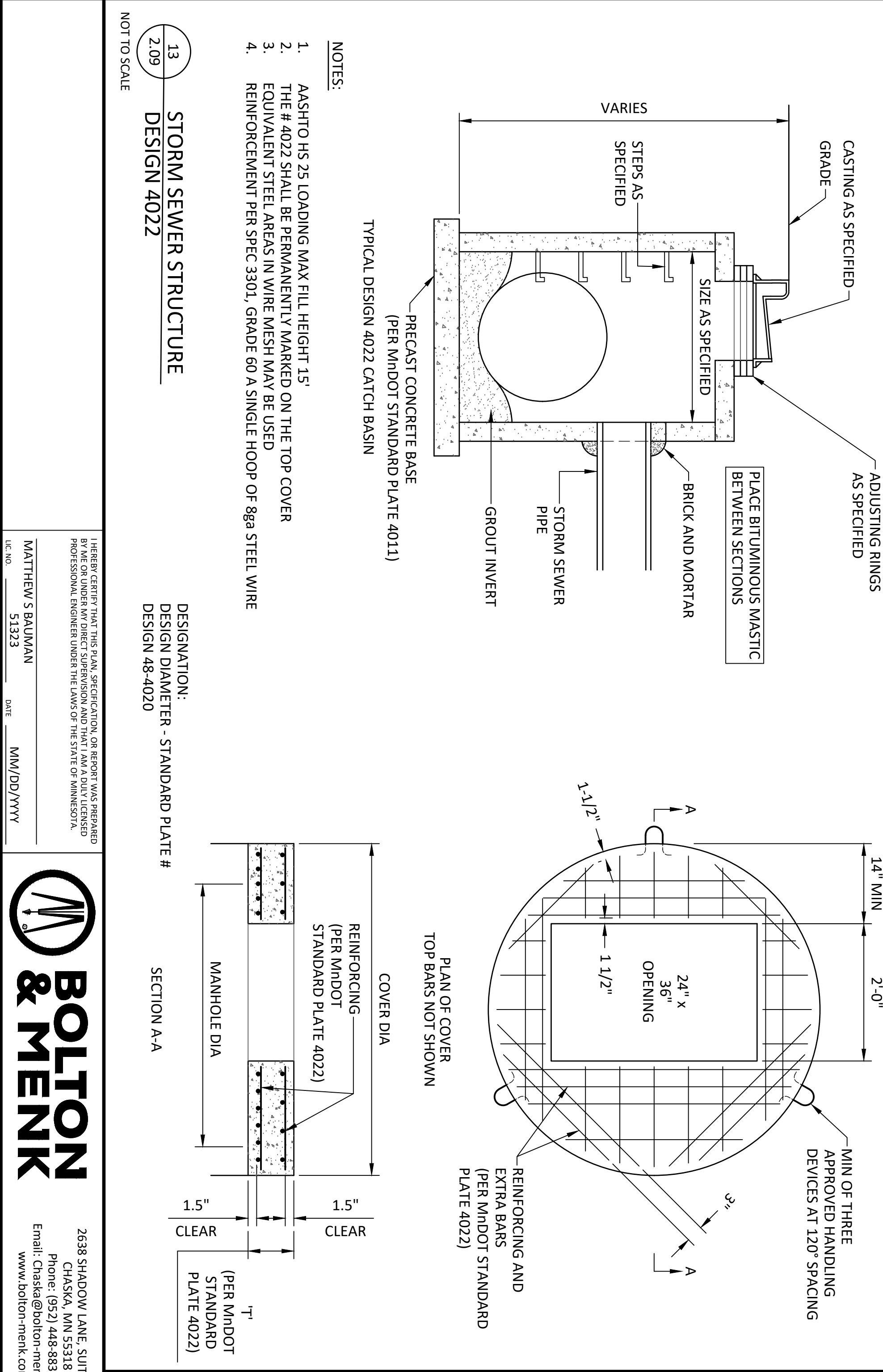
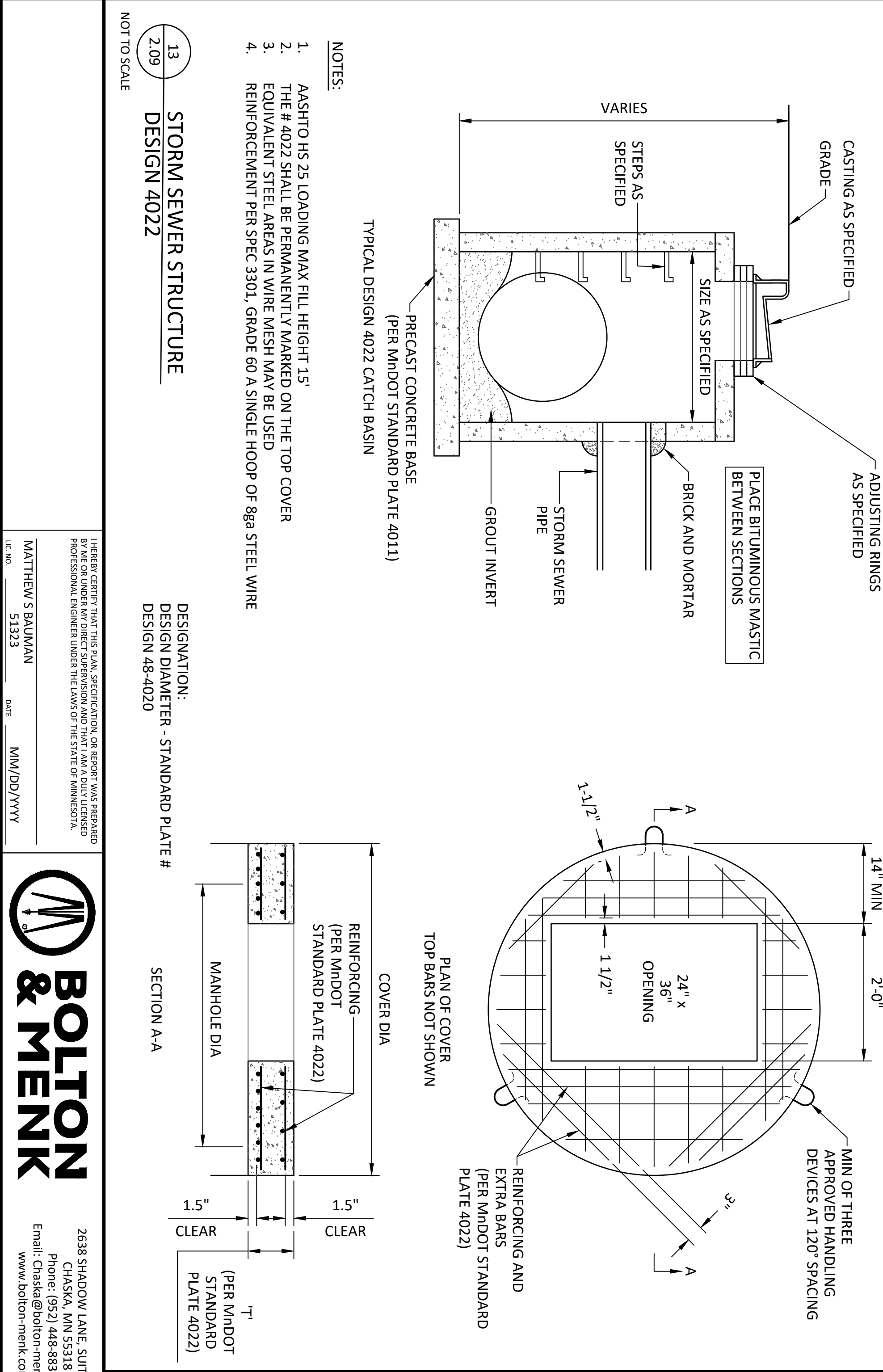
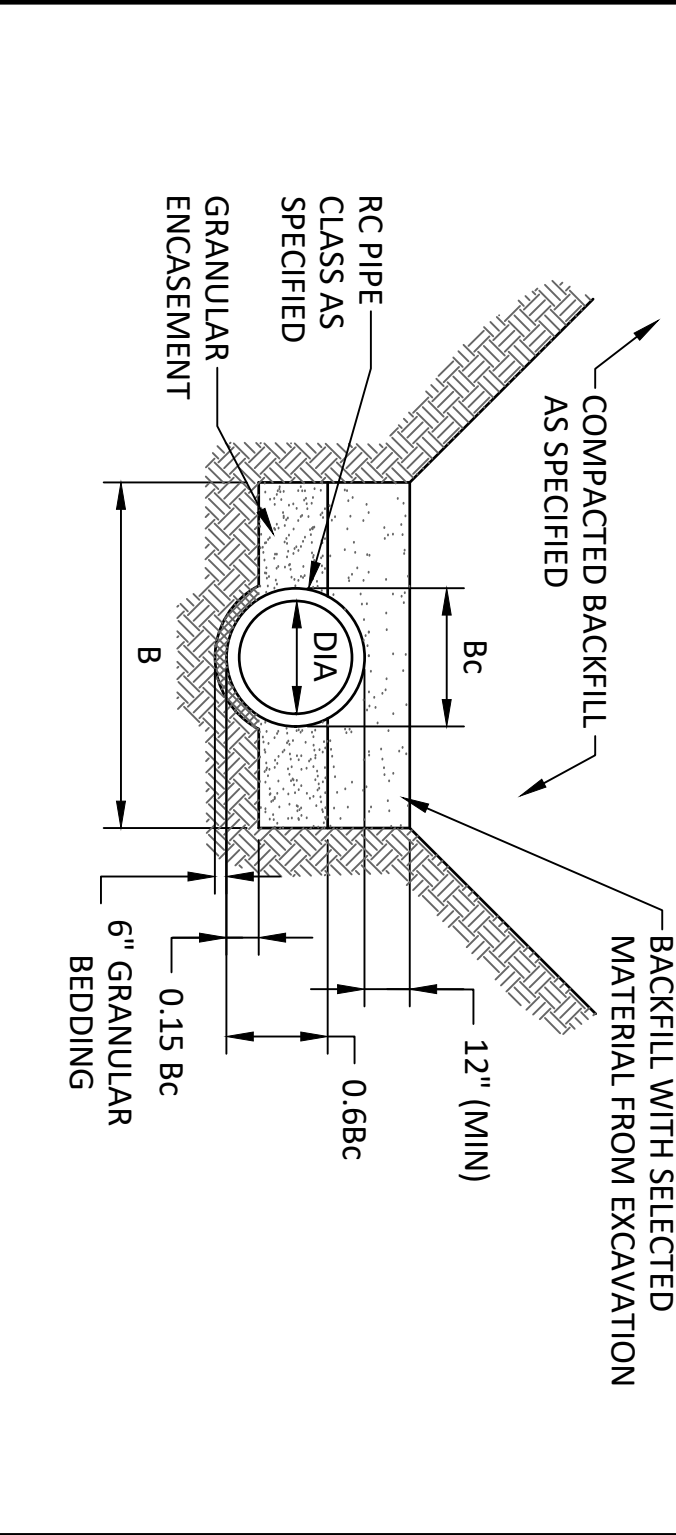
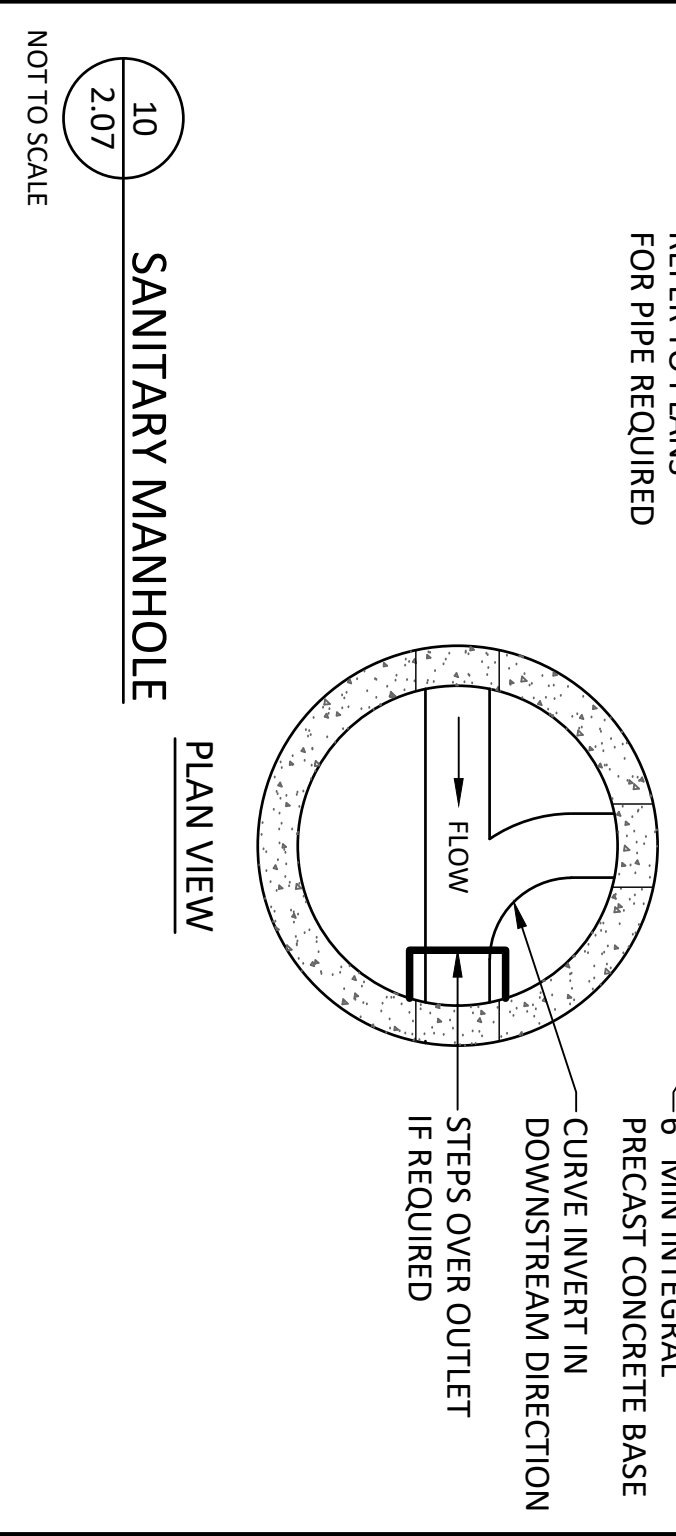
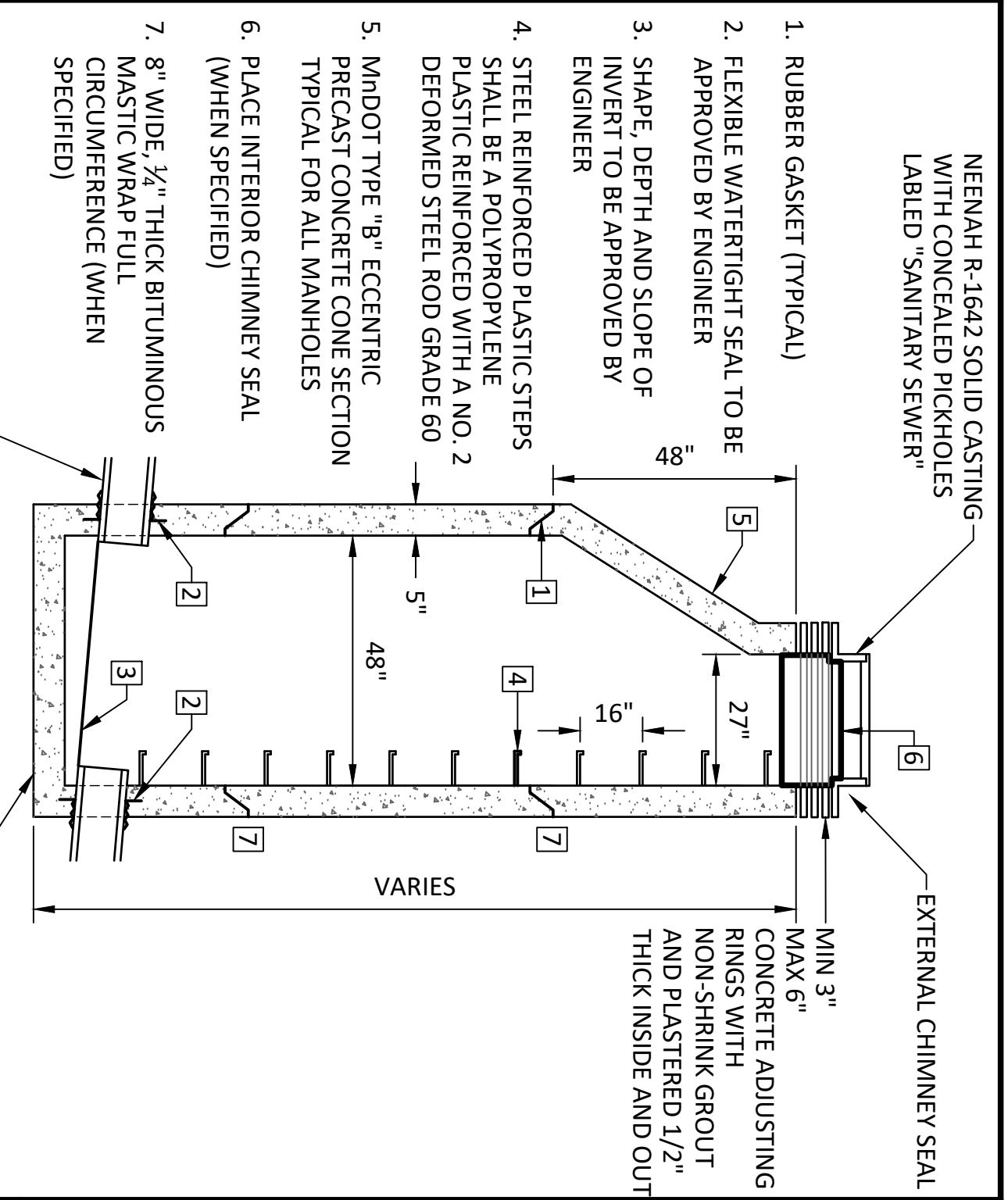
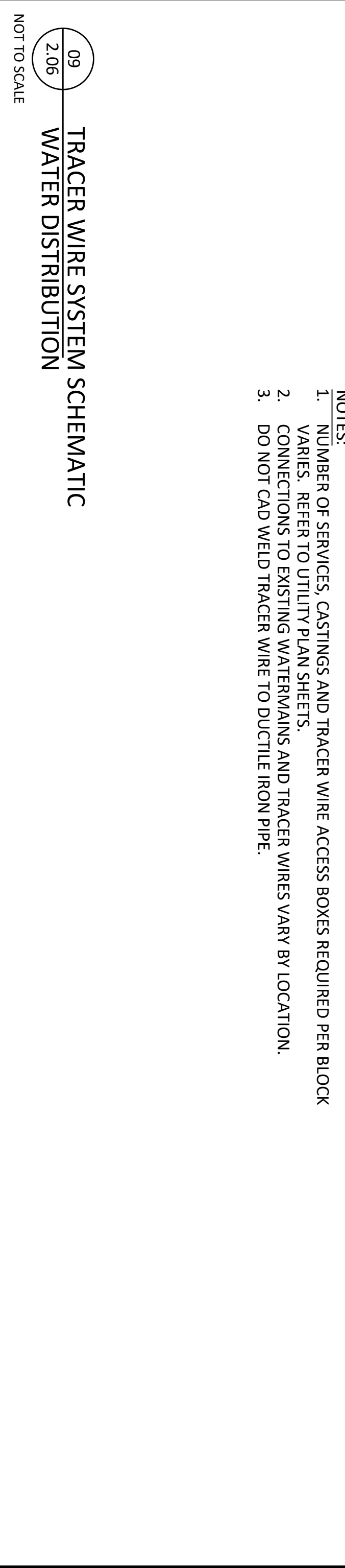
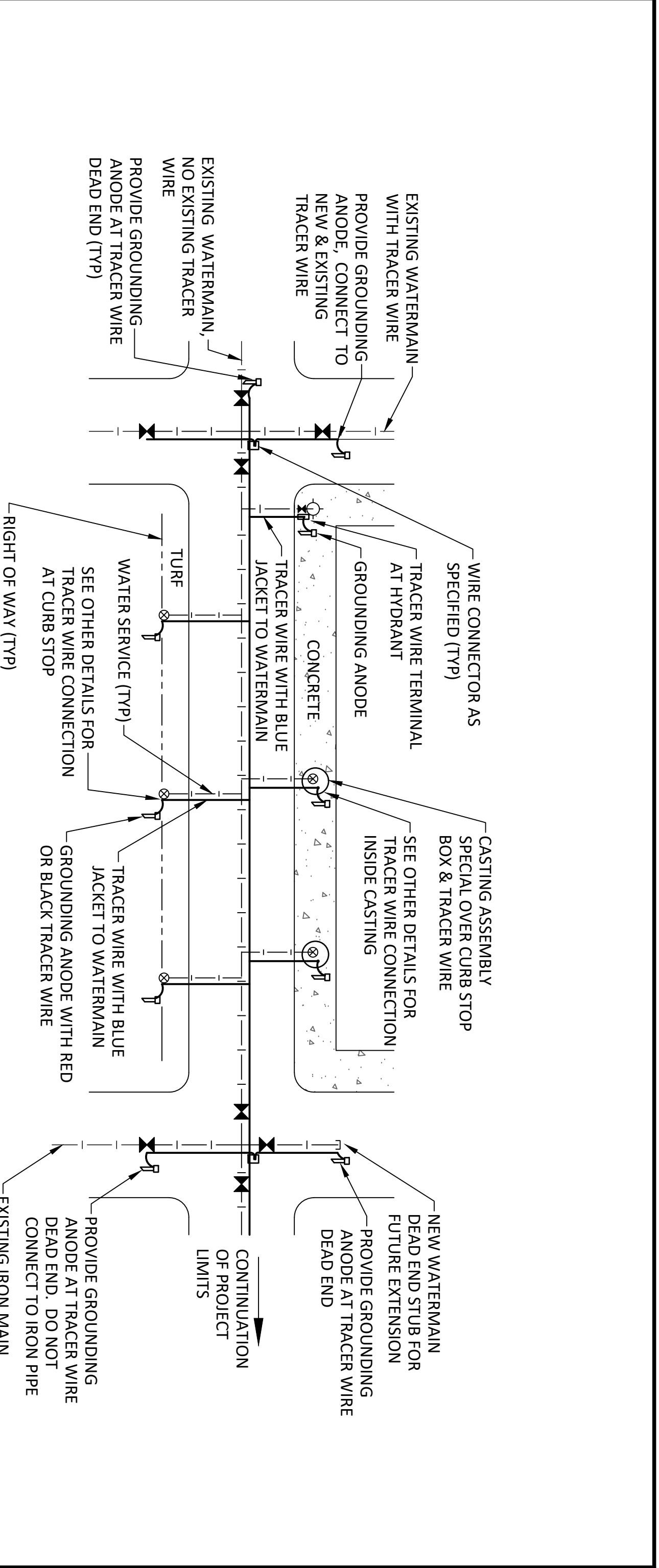


MEDIUM COLOR, LOW VARIATION



DARK COLOR, MEDIUM VARIATION





1 HERE BY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

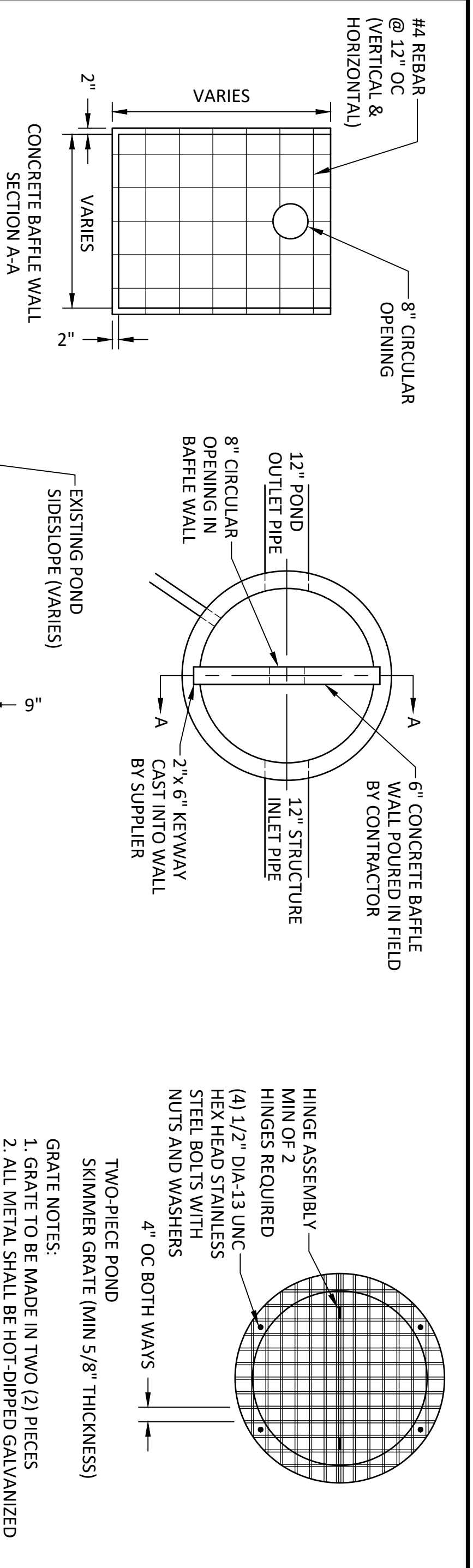
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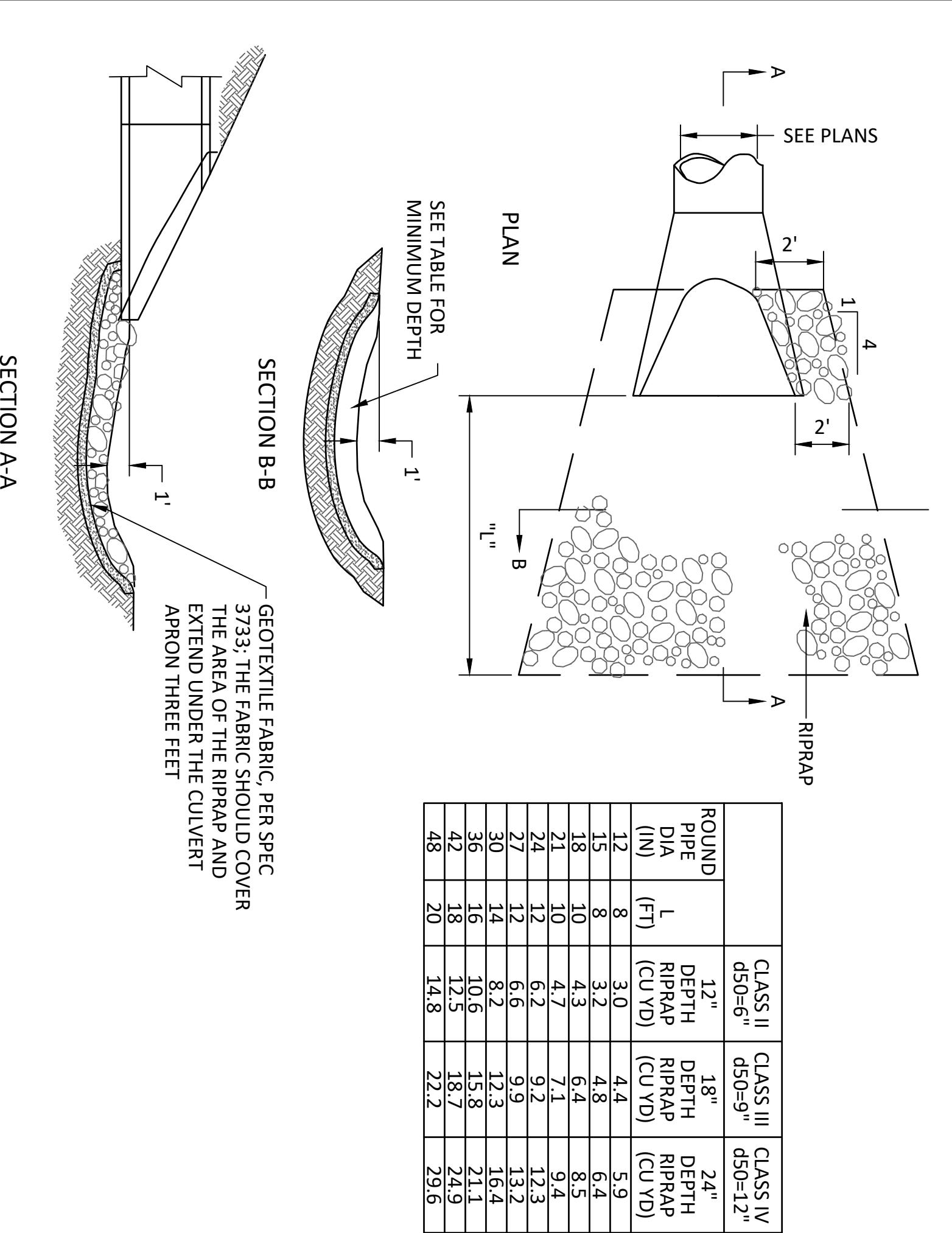
2638 SHADOW LAKE, SUITE 200 CHASKA, MN 55318
 Phone: (952) 448-8838
 Email: Chaska@bolton-menk.com
 www.bolton-menk.com

DESIGNED	KLB	DATE	03/03/2026
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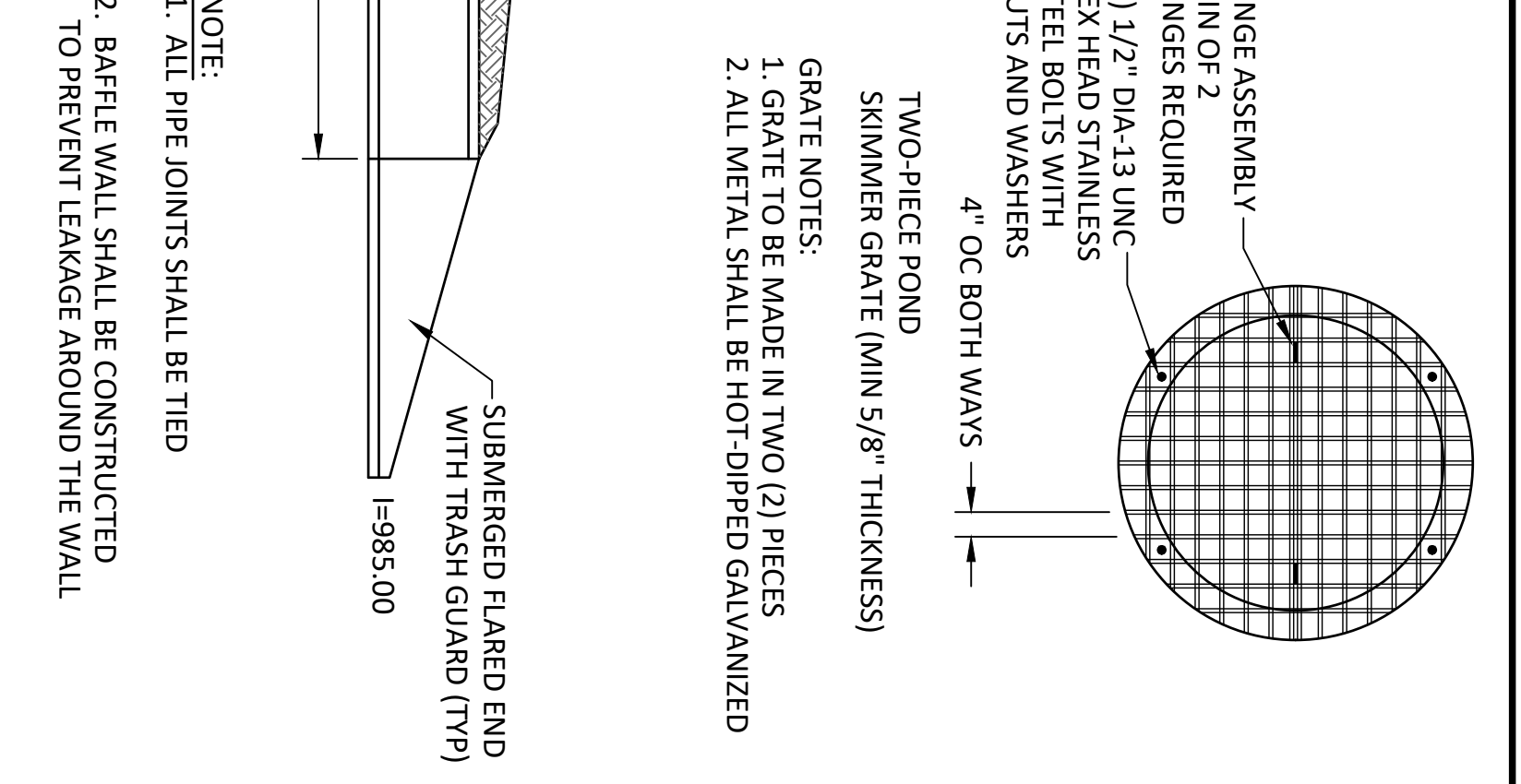
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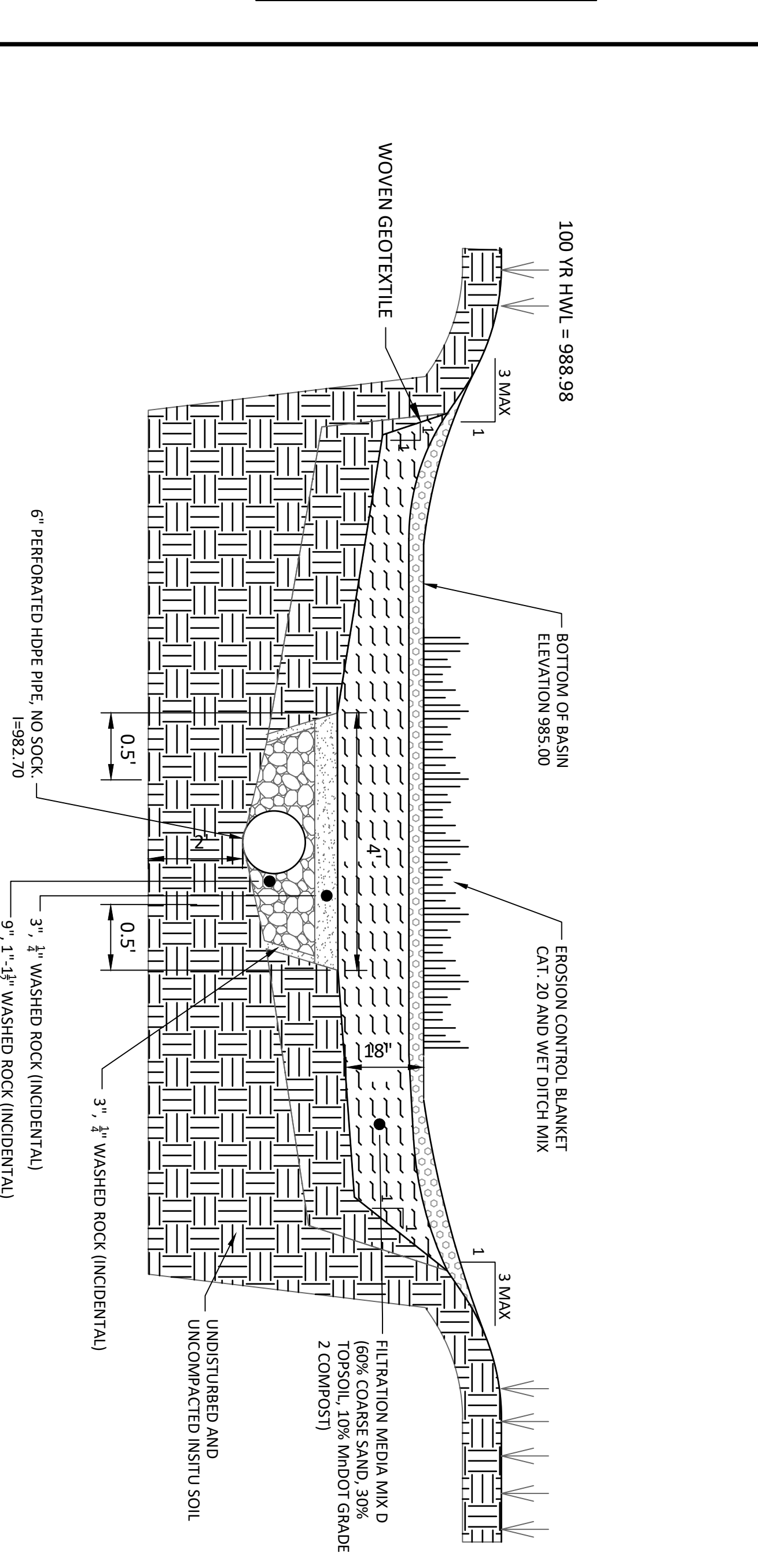
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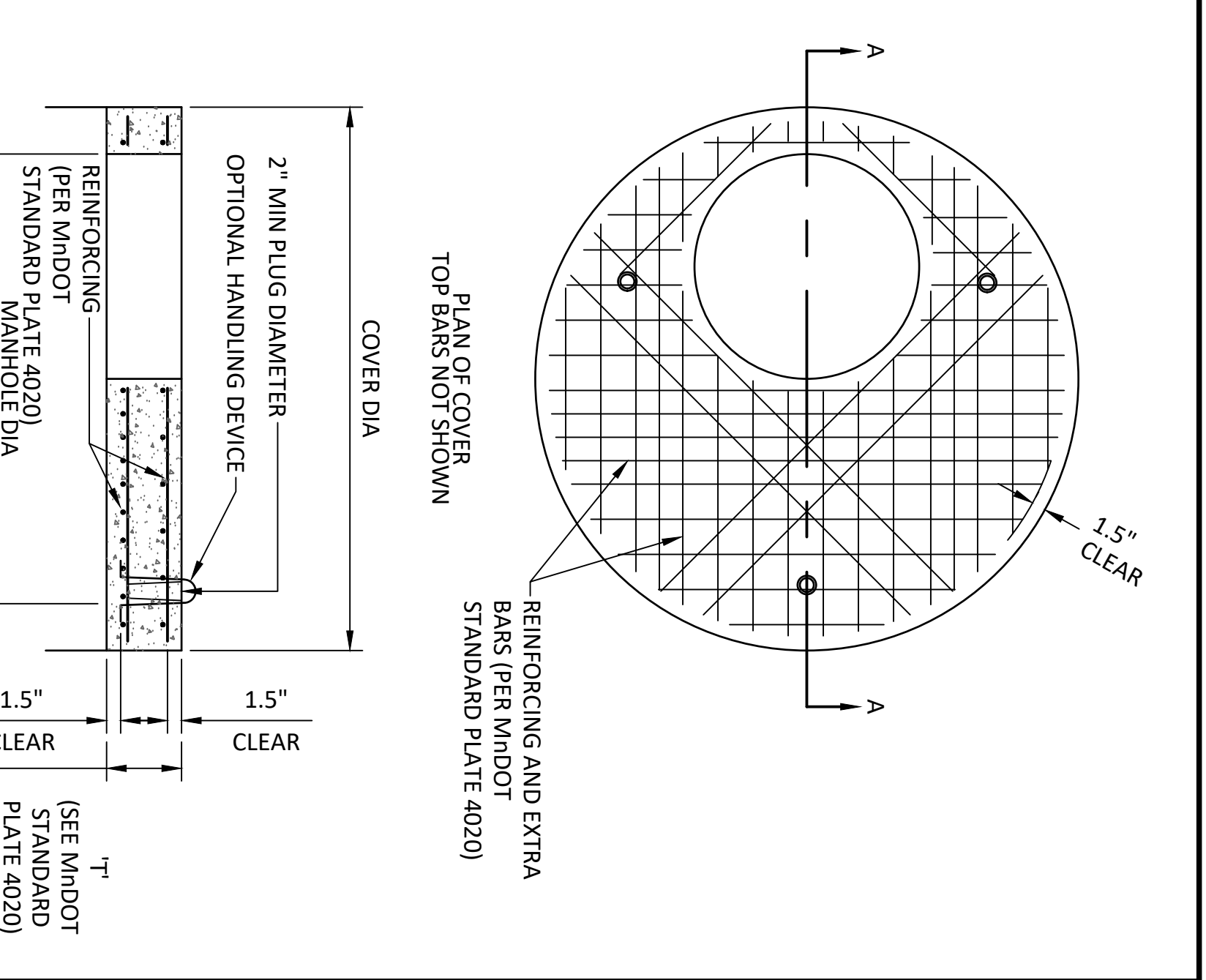
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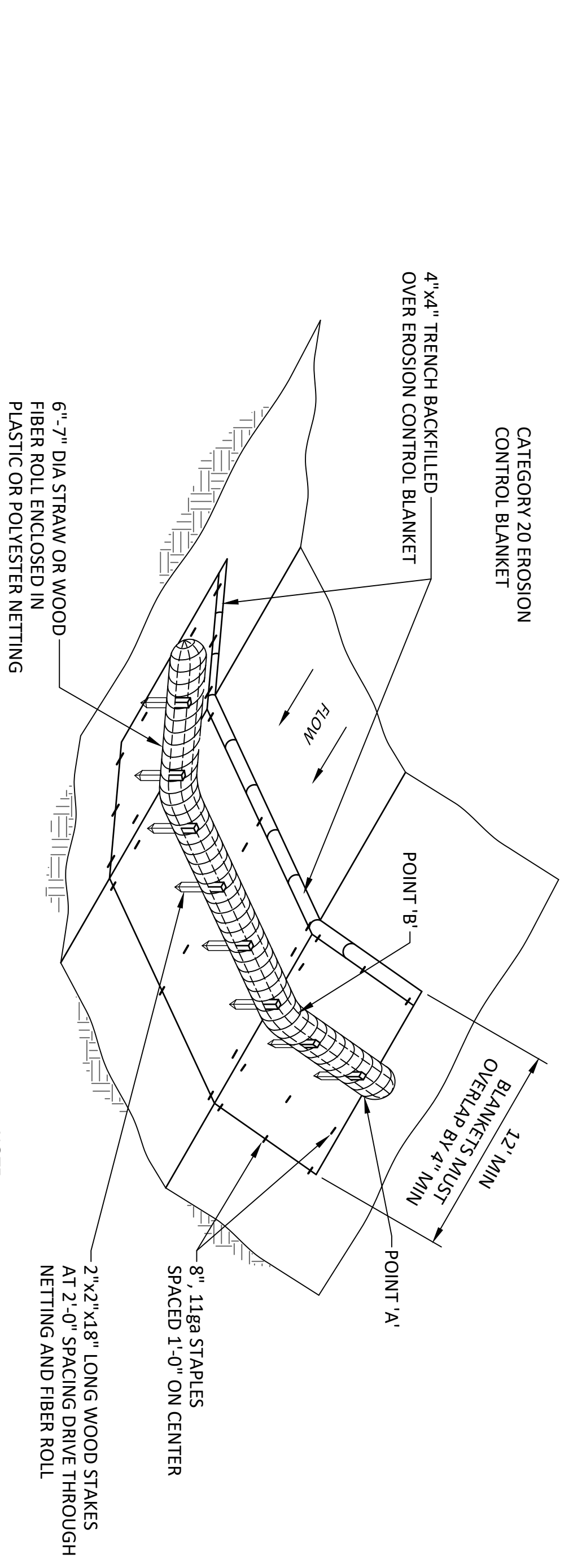
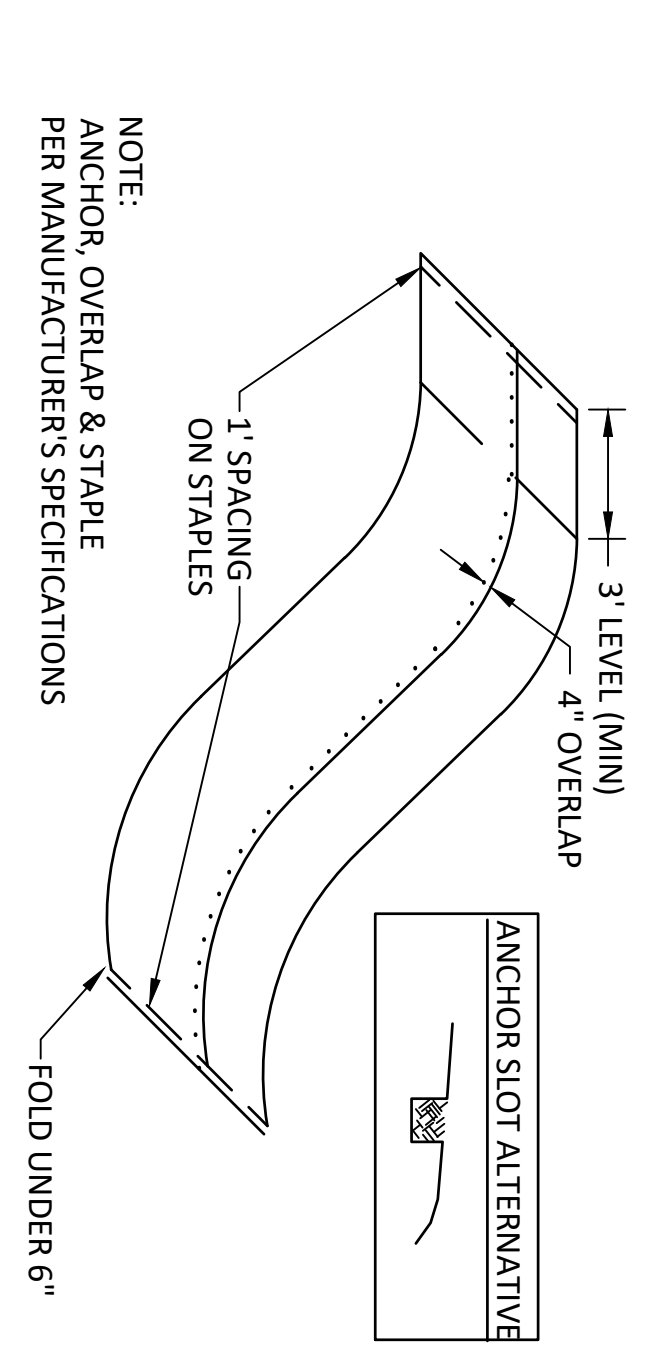
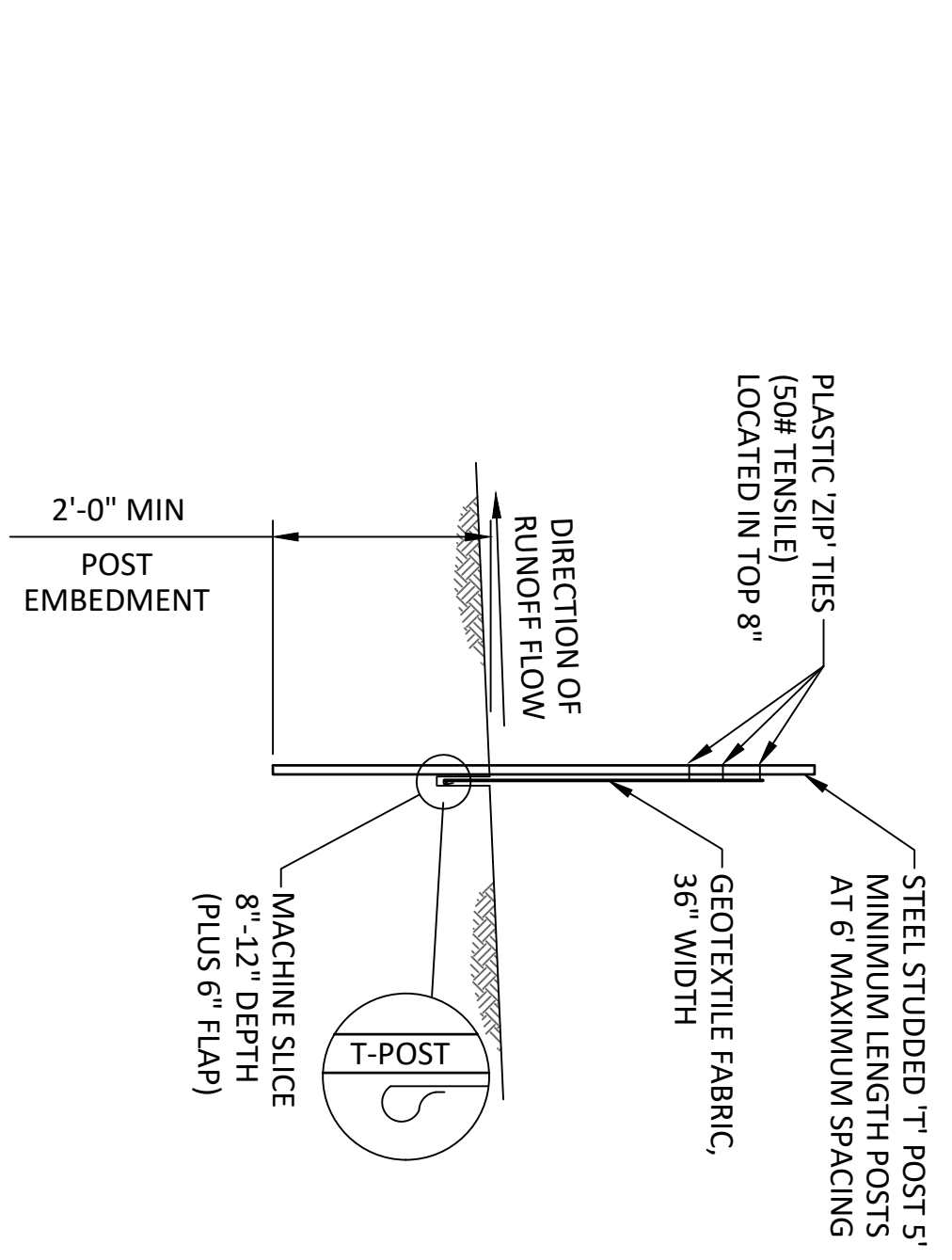
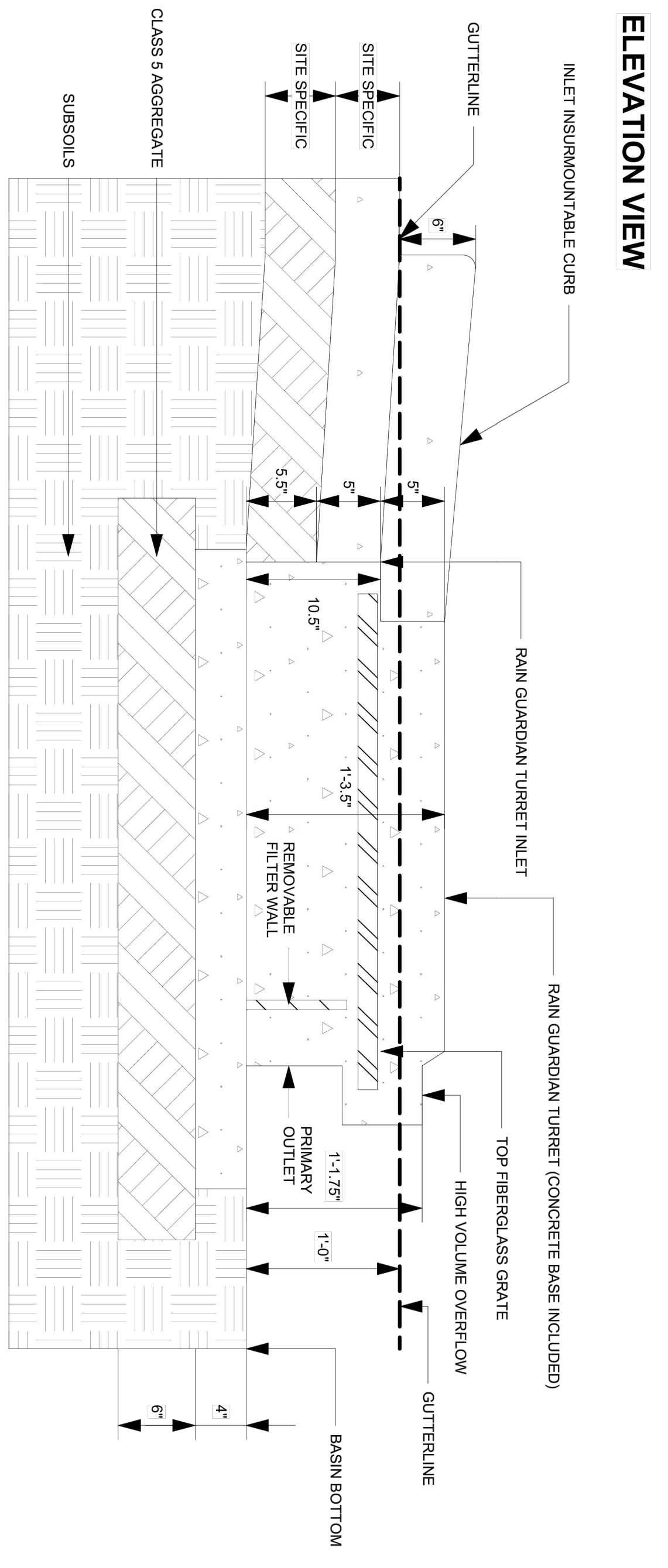
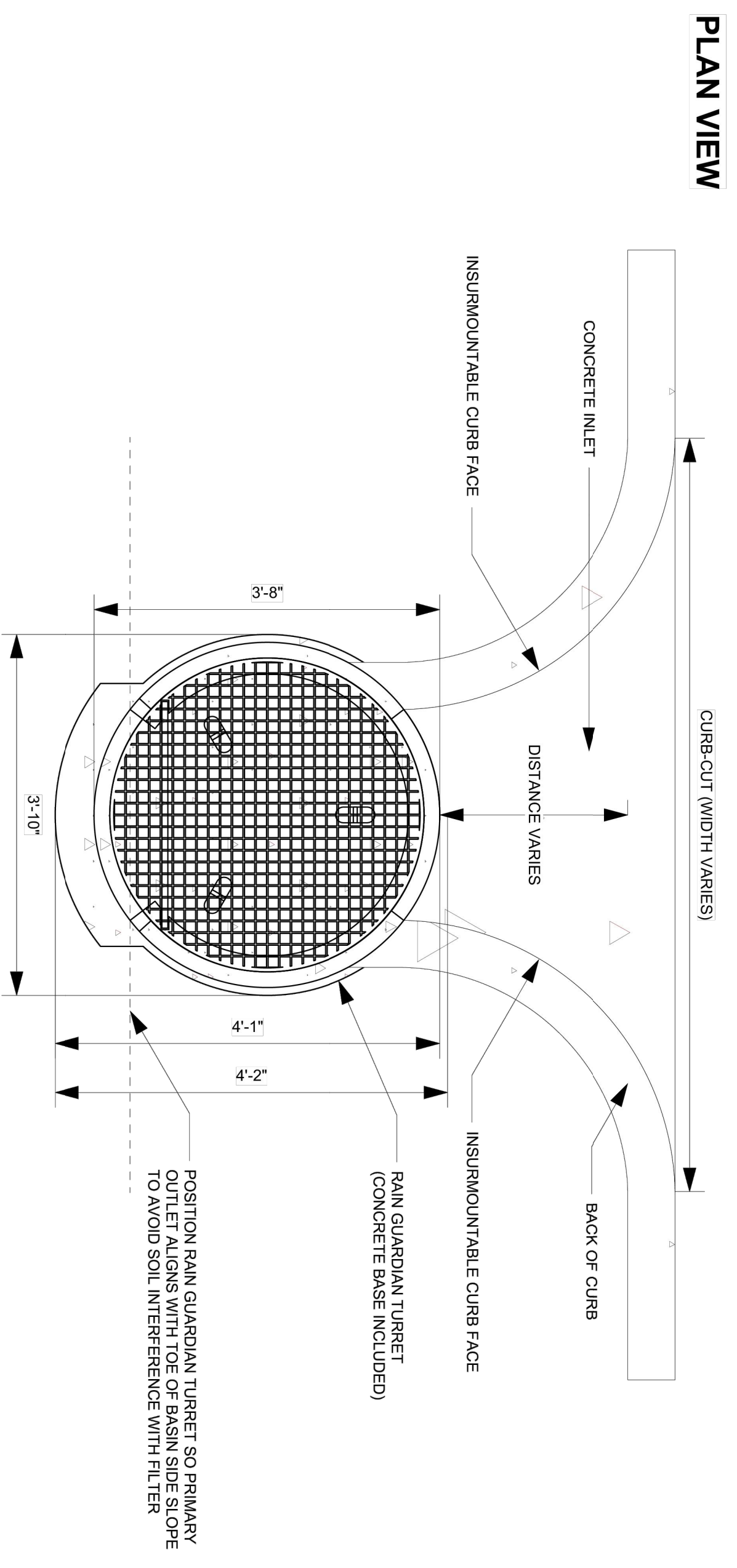
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 MATTHEW S BAUMANN
 LIC. NO. 51323 DATE MM/DD/YYYY

BOLTON & MENK
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 Phone: (952) 448-8838
 Email: Chaska@bolton-menk.com
 www.bolton-menk.com

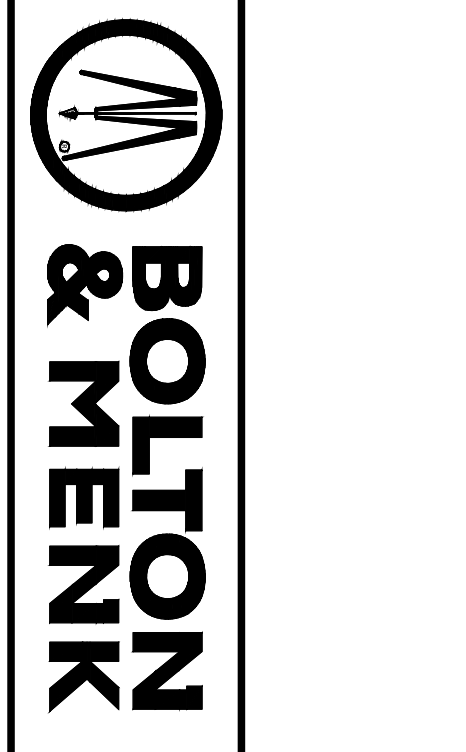
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CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 CIVIL DETAILS
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21
2.14
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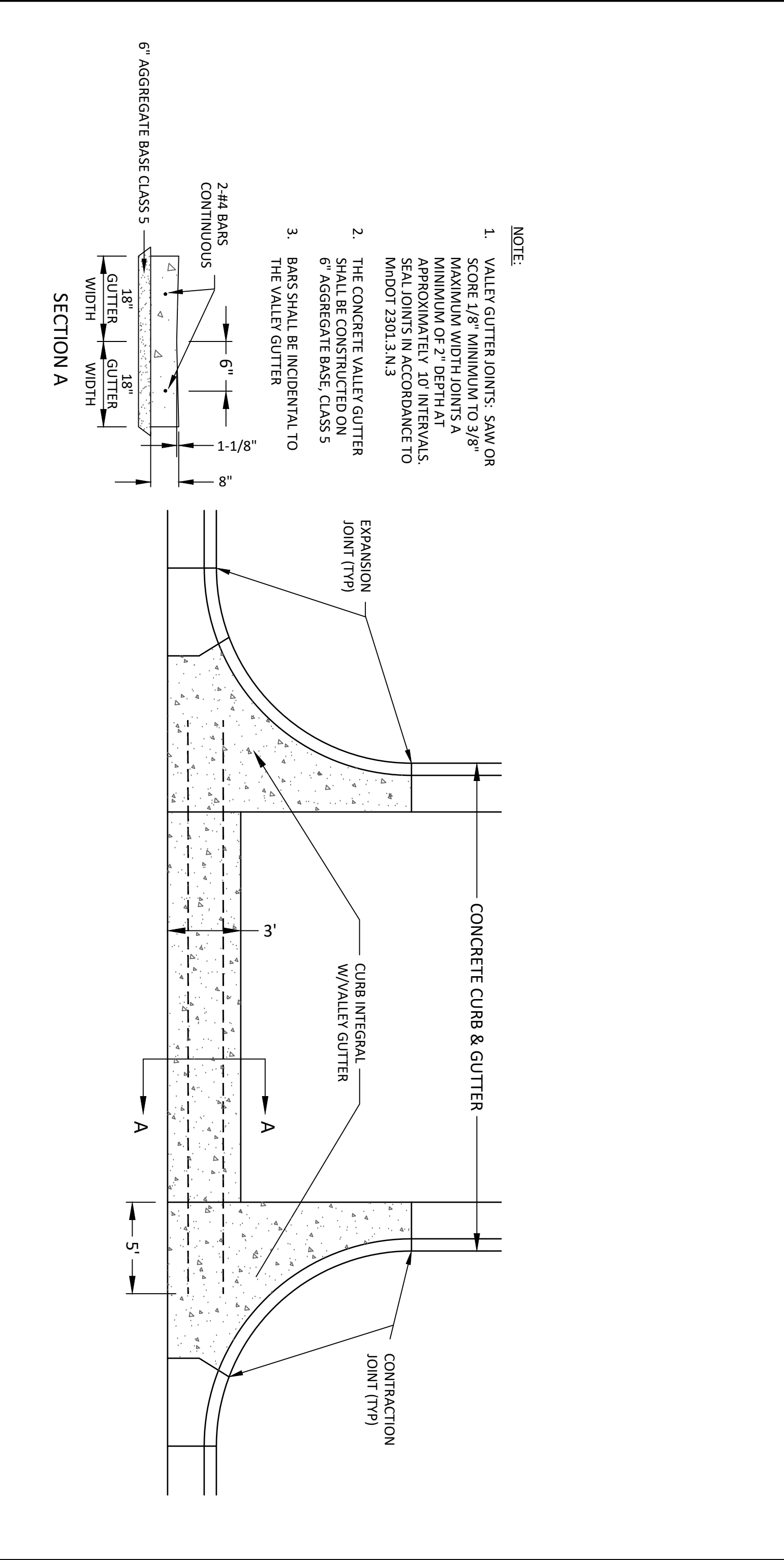
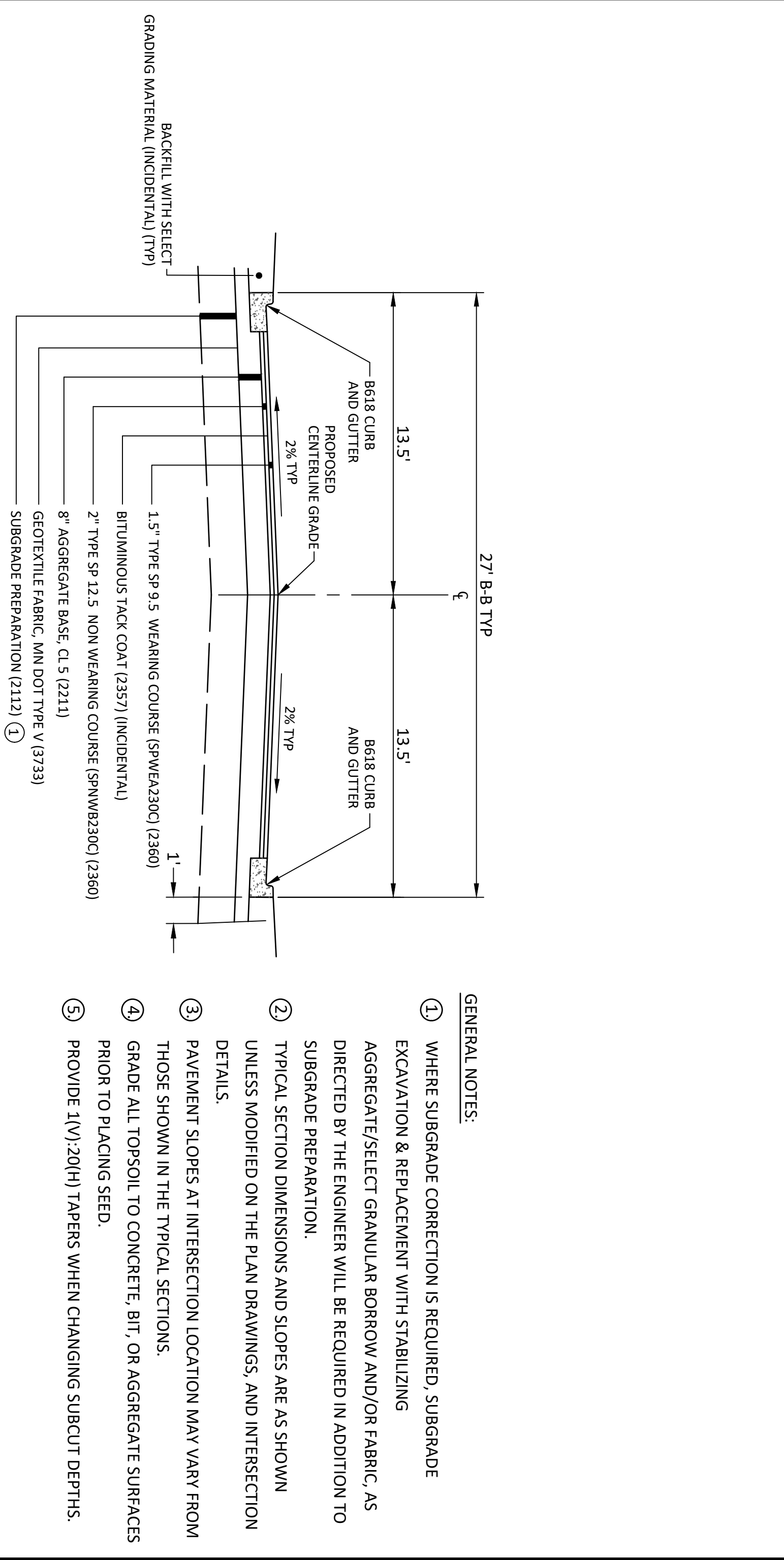
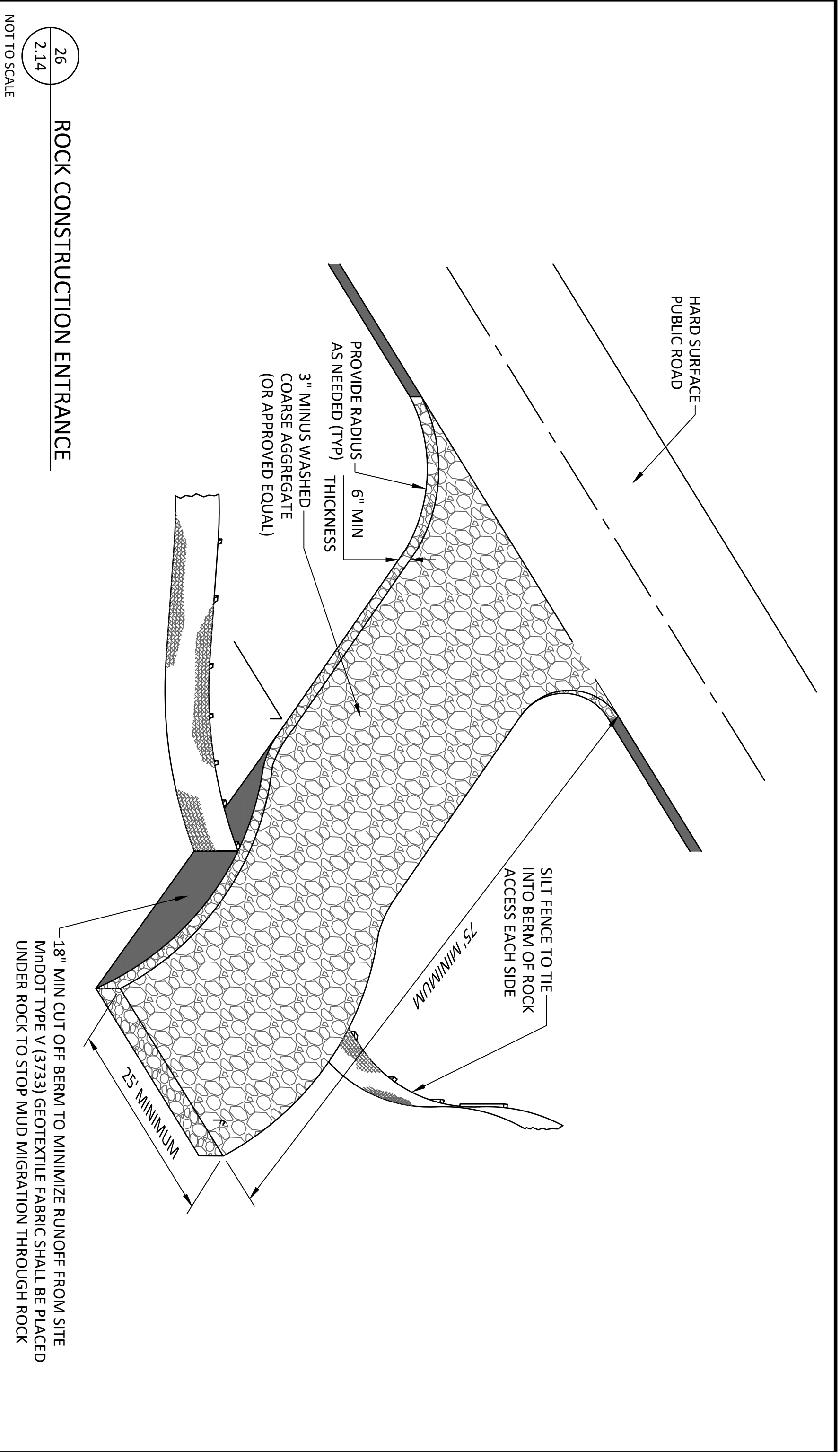
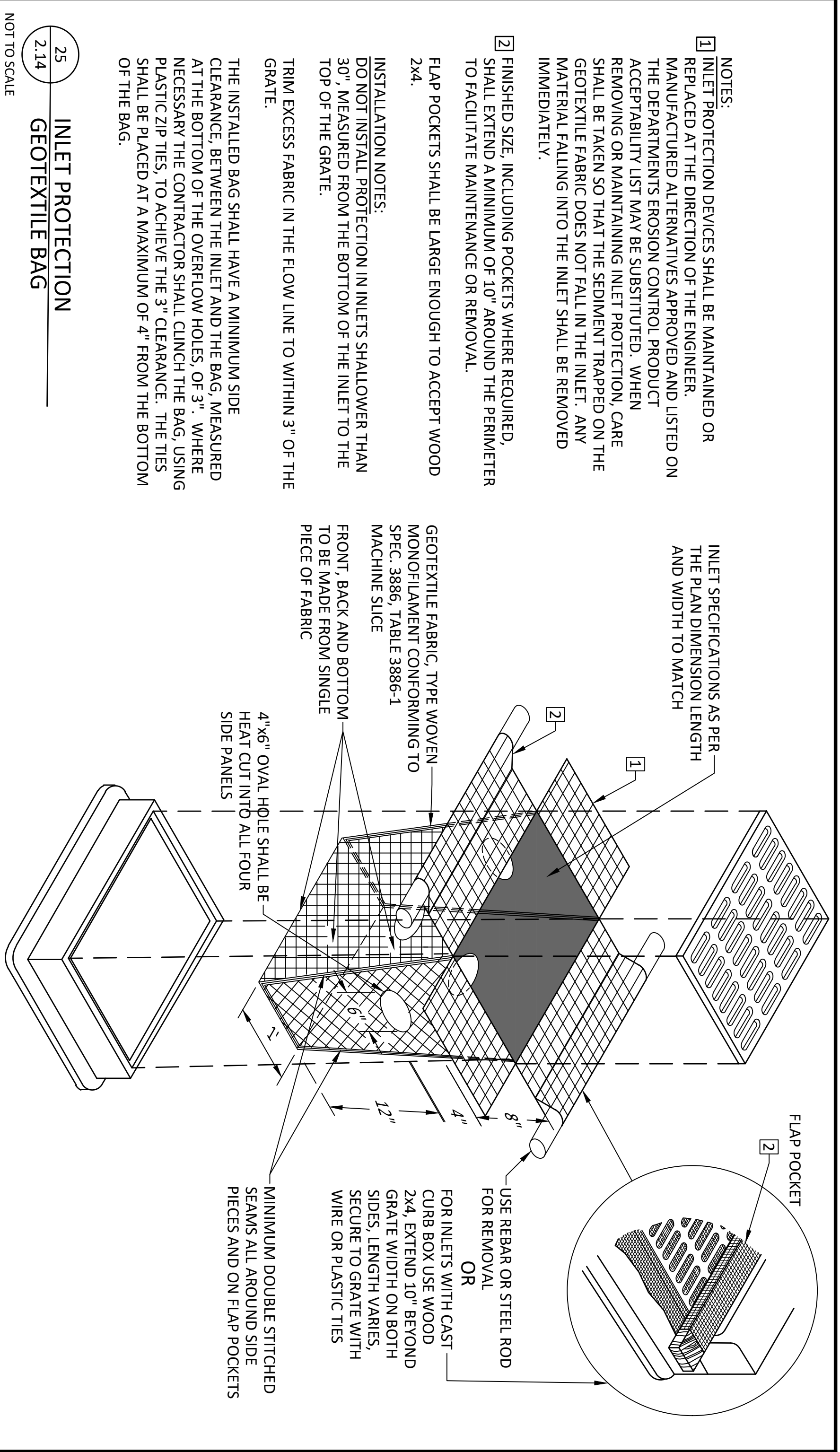
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MATTHEW S BAUMANN
LIC. NO. 51323 DATE MM/DD/YYYY



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www.bolton-menk.com

DATE	BY	REVISION
03/03/2026	A	REVIEW
03/03/2026	KLB	DESIGNED
	KLB	DRAWN
	MSE	CHECKED

CITY OF MOUND, MN
WATER TREATMENT FACILITY
CIVIL DETAILS
SHEET
1.14



1. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

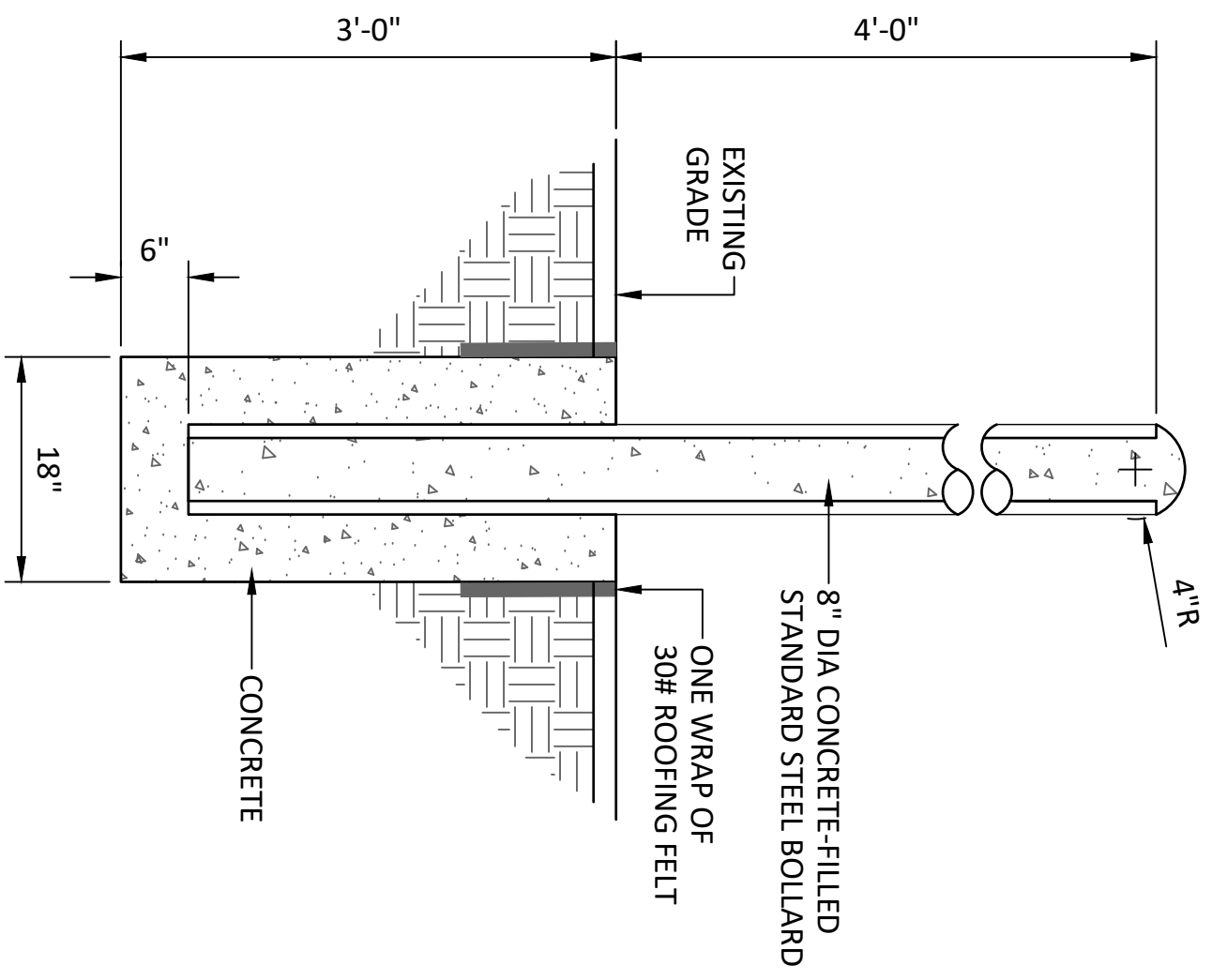
MATTHEW S BAUMANN
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CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 CIVIL DETAILS

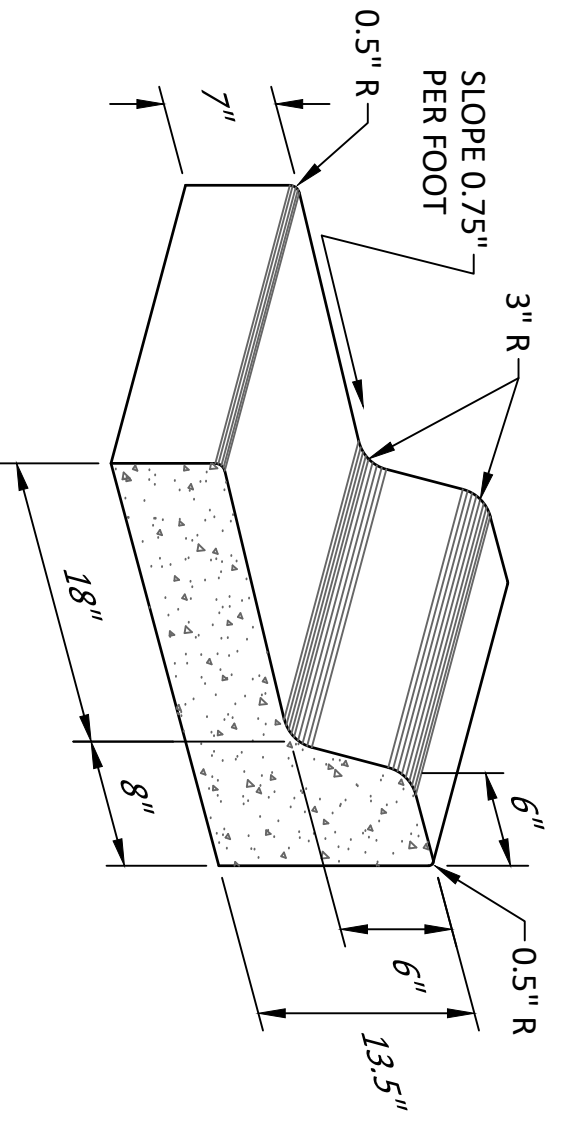
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 DRAWN BY: KLB
 CHECKED BY: MSB
 CLIENT PROJ. NO.: 24X135320000

DATE: 03/03/2026

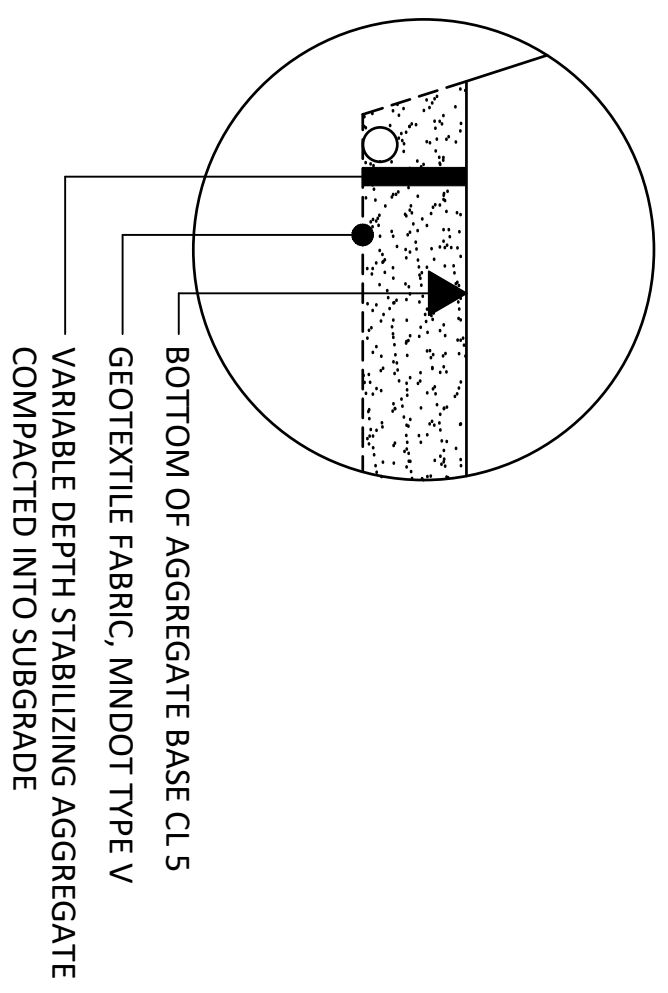
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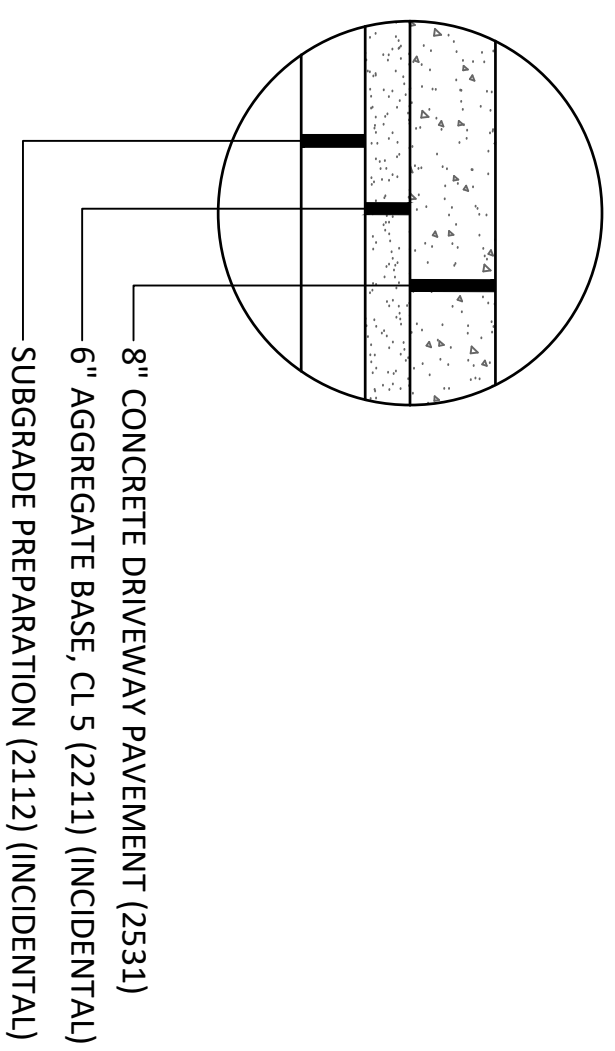
29
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NOT TO SCALE



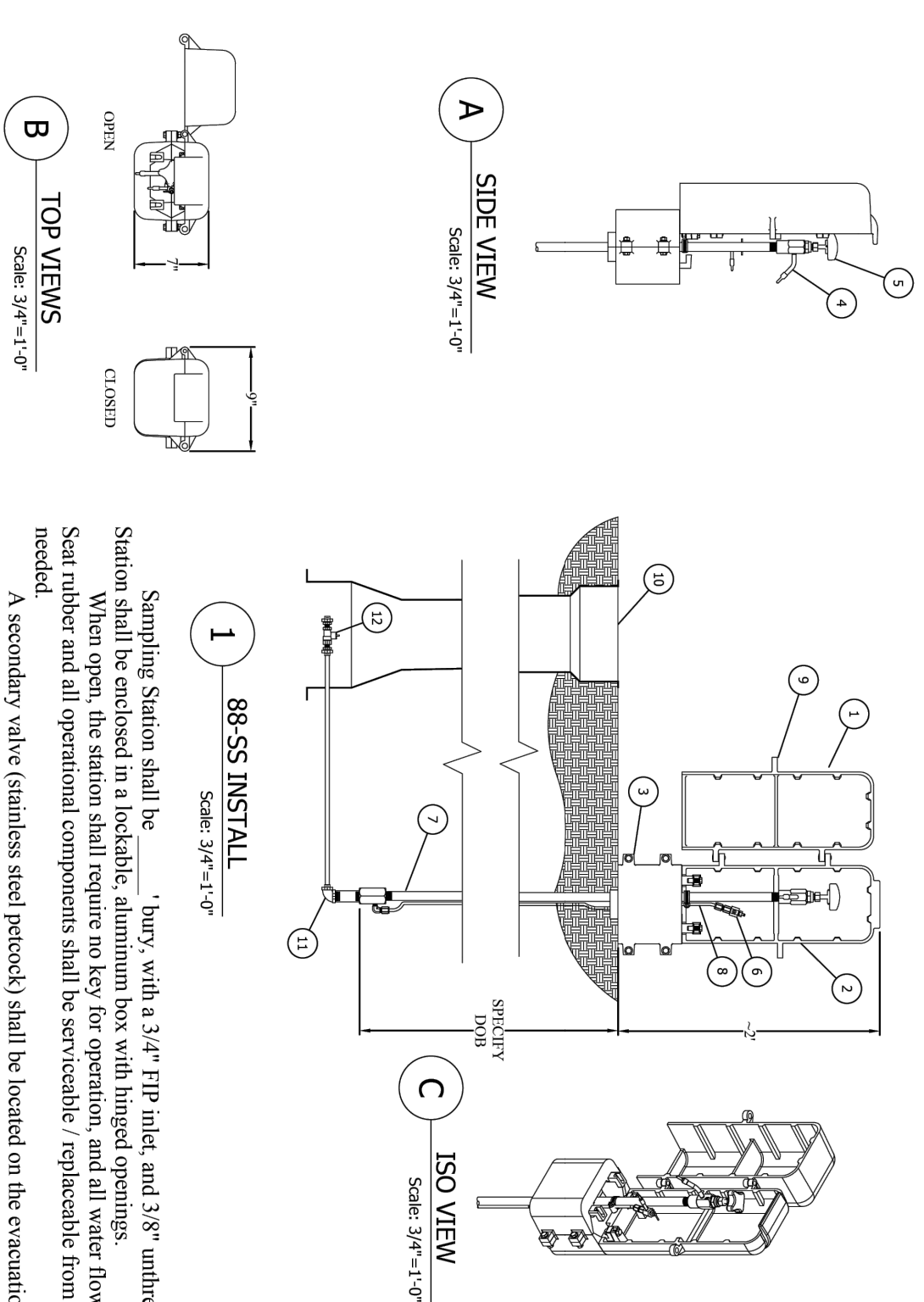
32
2.16 CONCRETE CURB & GUTTER DESIGN B618
NOT TO SCALE



30
2.16 SUBGRADE CORRECTION
NOT TO SCALE



31
2.16 GENERATOR PAD
NOT TO SCALE



#88-SS SAMPLING STATION SPEC SHEET

ITEM	DESCRIPTION	NOTES
1	88-SS SAMPLING STATION	
2	88-SS SAMPLING VALVE	
3	88-SS FLOW METER	
4	88-SS SAMPLING HOSE	
5	88-SS SAMPLING TUBING	
6	88-SS SAMPLING TUBING	
7	88-SS SAMPLING TUBING	
8	88-SS SAMPLING TUBING	
9	88-SS SAMPLING TUBING	
10	88-SS SAMPLING TUBING	
11	88-SS SAMPLING TUBING	

- Notes:
- 1) The station shall be any other other than those check with the manufacturer for color options, and specific accessories.
 - 2) When installed on or with concrete, Kuperfle recommends the use of a gasket or gasket between the enclosure and the concrete install is specified.
 - 3) Protected exposure to strong chlorides which can be present in concrete, allowing gaskets, and sometimes even possible water can lead to possible enclosure corrosion, regular maintenance and drying the station after use are the best methods for optimal station longevity.
 - 4) The station shall be installed on a prepared subgrade.
 - 5) Some sites, typically at higher pressures, installed flow can cause station vibration. Should this occur after installation, please contact manufacturer for consultation.

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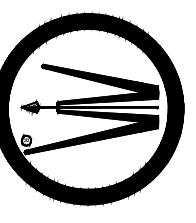
2511 NORTH 9TH STREET
 ST. LOUIS, MO 63102
 1-800-231-3990
 FAX 314-231-2820
 www.hydrants.com

INT'L DATE: 1/26/2026
 APPROVED BY: [Signature]
 MODIFIED BY: [Signature]
 K11P11811E

33
2.06 SAMPLING STATION
NOT TO SCALE

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MATTHEW S BAUMANN
 LIC. NO. 51323 DATE MM/DD/YYYY



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CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 CIVIL DETAILS

EXISTING TOPOGRAPHIC SYMBOLS

	ACCESS GRATE
	AIR CONDITION UNIT
	ANTENNA
	AUTO SPRINKLER CONNECTION
	BARRICADE PERMANENT
	BASKETBALL POST
	BENCH
	BIRD FEEDER
	BOLLARD
	BUSH
	CATCH BASIN RECTANGULAR CASTING
	CATCH BASIN CIRCULAR CASTING
	CURB STOP
	CLEAN OUT
	CULVERT END
	DRINKING FOUNTAIN
	DOWN SPOUT
	ELECTRIC CAR CHARGE STATION
	FILL PIPE
	FIRE HYDRANT
	FLAG POLE
	FLARED END / APRON
	FUEL PUMP
	GRILL
	GUY WIRE ANCHOR
	HANDHOLE
	HANDICAP SPACE
	IRRIGATION SPRINKLER HEAD
	IRRIGATION VALVE BOX
	LIFT STATION CONTROL PANEL
	LIFT STATION
	LIGHT POLE
	MAILBOX
	MANHOLE-COMMUNICATION
	MANHOLE-ELECTRIC
	MANHOLE-GAS
	MANHOLE-HEAT
	MANHOLE-RECLAIMED WATER
	MANHOLE-SANITARY SEWER
	MANHOLE-Storm Sewer
	MANHOLE-UTILITY
	MANHOLE-WATER
	METER
	DRIVE-THRU MICROPHONE
	PARKING METER
	PAVEMENT MARKING
	PEDESTAL-ELECTRIC
	PEDESTAL-COMMUNICATION
	PEDESTRIAN PUSH BUTTON
	PICNIC TABLE
	POLE-UTILITY
	POST
	RAILROAD SIGNAL POLE

SURVEY SYMBOLS

	BENCHMARK LOCATION
	CONTROL POINT
	MONUMENT FOUND
	CAST IRON MONUMENT
	STONE MONUMENT

EXISTING TOPOGRAPHIC LINES

	RETAINING WALL
	FENCE
	FENCE-DECORATIVE
	GUARD RAIL
	TREE LINE
	BUSH LINE

SURVEY LINES

	CONTROLLED ACCESS
	BOUNDARY
	CENTERLINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED RIGHT-OF-WAY
	SETBACK LINE
	SECTION LINE
	QUARTER LINE
	SIXTEENTH LINE
	TEMPORARY EASEMENT

EXISTING UTILITY LINES

	FORCE MAIN
	SANITARY SEWER
	SANITARY SERVICE
	STORM SEWER
	STORM SEWER DRAIN TILE
	WATER MAIN
	WATER SERVICE
	RECLAIMED WATER

PROPOSED UTILITY LINES

	FORCE MAIN
	SANITARY SEWER
	SANITARY SERVICE
	STORM SEWER
	STORM SEWER DRAIN TILE
	WATER MAIN
	WATER SERVICE
	PIPE CASING
	TRENCHLESS PIPE (PLAN VIEW)
	TRENCHLESS PIPE (PROFILE VIEW)

GRADING INFORMATION

	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	PROPOSED CONTOUR MAJOR
	PROPOSED GRADING LIMITS / SLOPE LIMITS
	PROJECT LIMITS
	PROPOSED SPOT ELEVATION
	RISE:RUN (SLOPE)

HATCH PATTERNS

	BITUMINOUS
	CONCRETE
	GRAVEL

EXISTING PRIVATE UTILITY LINES

	UNDERGROUND FIBER OPTIC
	UNDERGROUND ELECTRIC
	UNDERGROUND GAS
	UNDERGROUND COMMUNICATION
	OVERHEAD ELECTRIC
	OVERHEAD COMMUNICATION
	OVERHEAD UTILITY

UTILITIES IDENTIFIED WITH A QUALITY LEVEL:

LINE TYPES FOLLOW THE FORMAT: UTILITY TYPE - QUALITY LEVEL
 EXAMPLE: UNDERGROUND GAS, QUALITY LEVEL A
 UTILITY QUALITY LEVEL (A,B,C,D) DEFINITIONS CAN BE FOUND IN C/ASCE 38-22.

UTILITY QUALITY LEVELS:

QUALITY LEVEL D: PROVIDES THE MOST BASIC LEVEL OF INFORMATION. IT INVOLVES COLLECTING DATA FROM EXISTING UTILITY RECORDS. RECORDS MAY INCLUDE AS-BUILT DRAWINGS, DISTRIBUTION AND SERVICES MAPS, EXISTING GEOGRAPHIC INFORMATION SYSTEM DATABASES, CONSTRUCTION PLANS, ETC.

QUALITY LEVEL C: INVOLVES SURVEYING VISIBLE SUBSURFACE UTILITY STRUCTURES SUCH AS MANHOLES, HAND-HOLES, UTILITY VALVES AND METERS, FIRE HYDRANTS, PEDESTALS AND UTILITY MARKERS, AND THEN CORRELATING THE INFORMATION WITH EXISTING UTILITY RECORDS TO CREATE COMPOSITE DRAWINGS. INCLUDES QUALITY LEVEL D ACTIVITIES.

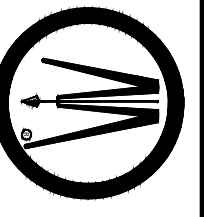
QUALITY LEVEL B: INVOLVES DESIGNATING THE HORIZONTAL POSITION OF SUBSURFACE UTILITIES THROUGH SURFACE DETECTION METHODS AND COLLECTING THE INFORMATION THROUGH A SURVEY METHOD. INCLUDES QUALITY LEVEL C AND D TASKS.

QUALITY LEVEL A: PROVIDES THE HIGHEST LEVEL OF ACCURACY. IT INVOLVES LOCATING OR POTHOLING UTILITIES AS WELL AS ACTIVITIES IN QUALITY LEVELS B, C, AND D. THE LOCATED FACILITY INFORMATION IS SURVEYED AND MAPPED AND THE DATA PROVIDES PRECISE PLAN AND PROFILE INFORMATION.

ABBREVIATIONS

A	ALGEBRAIC DIFFERENCE	GRAV	GRAVEL	RSC	RIGID STEEL CONDUIT
ADJ	ADJUST	GU	GUTTER	RT	RIGHT
ALT	ALTERNATE	GV	GATE VALVE	SAN	SANITARY SEWER
B-B	BACK TO BACK	HDPE	HIGH DENSITY POLYETHYLENE	SCH	SCHEDULE
BIT	BITUMINOUS	HH	HANDHOLE	SEW	SERVICE
BLDG	BUILDING	HP	HIGH POINT	SHLD	SHOULDER
BMP	BEST MANAGEMENT PRACTICE	HWL	HIGH WATER LEVEL	STA	STATION
BR	BEGIN RADIUS	HYD	HYDRANT	STD	STANDARD
BV	BUTTERFLY VALVE	I	INVERT	STM	STORM SEWER
CB	CATCH BASIN	K	CURVE COEFFICIENT	TC	TOP OF CURB
C&G	CURB AND GUTTER	L	LENGTH	TE	TEMPORARY EASEMENT
CIP	CAST IRON PIPE	LO	LOWEST OPENING	TEMP	TEMPORARY
CIPP	CURED-IN-PLACE PIPE	LP	LOW POINT	TNH	TOP NUT HYDRANT
CL	CENTER LINE	LT	LEFT	TP	TOP OF PIPE
CL	CLASS	MAX	MAXIMUM	TP	TYPICAL
CLVT	CULVERT	MH	MANHOLE	VCP	VITRIFIED CLAY PIPE
CMP	CORRUGATED METAL PIPE	MH	MANHOLE	VERT	VERTICAL
C.O.	CHANGE ORDER	MIN	MINIMUM	VPC	VERTICAL POINT OF CURVE
COMM	COMMUNICATION	MR	MID RADIUS	VPT	VERTICAL POINT OF TANGENT
CON	CONCRETE	NIC	NOT IN CONTRACT	VPT	VERTICAL POINT OF TANGENT
CSP	CORRUGATED STEEL PIPE	NMC	NON-METALLIC CONDUIT	WM	WATERMAIN
DIA	DIAMETER	NTS	NOT TO SCALE		
DIP	DUCTILE IRON PIPE	NWL	NORMAL WATER LEVEL		
DWY	DRIVEWAY	OHW	ORDINARY HIGH WATER LEVEL		
E	EXTERNAL CURVE DISTANCE	PC	POINT OF CURVE	AC	ACRES
ELEC	ELECTRIC	PCC	POINT OF COMPOUND CURVE	CF	CUBIC FEET
ELEV	ELEVATION	PE	PERMANENT EASEMENT	CV	COMPACTED VOLUME
EOF	EMERGENCY OVERTFLOW	PE	PERMANENT EASEMENT	CY	CUBIC YARD
ER	END RADIUS	PERF	PERFORATED PIPE	EA	EACH
ESMT	EASEMENT	PERM	PERMANENT	EV	EXCAVATED VOLUME
EX	EXISTING	PI	POINT OF INTERSECTION	LB	LINEAR FEET
FES	FLARED END SECTION	PL	PROPERTY LINE	LF	LUMP FEET
F-F	FACE TO FACE	PRC	POINT OF REVERSE CURVE	LS	LOOSE VOLUME
FF	FINISHED FLOOR	PVC	POINT OF TANGENT	LV	LOOSE VOLUME
F&I	FURNISH AND INSTALL	PVNT	POLYVINYL CHLORIDE PIPE	SF	SQUARE FEET
FM	FORCE MAIN	R	RADIUS	SV	STOCKPILE VOLUME
FO	FIBER OPTIC	R/W	RIGHT-OF-WAY	SY	SQUARE YARD
F.O.	FIELD ORDER	RCP	REINFORCED CONCRETE PIPE		
GRAN	GRANULAR	RET	RETAINING		

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CUSTOMER PROJ. NO.	24X135320000		

CITY OF MOUND, MN
 WATER TREATMENT FACILITY

CIVIL LEGEND

CONSTRUCTION NOTES

GENERAL

1. CONTRACTOR SHALL MAINTAIN LOCAL ACCESS TO ALL PROPERTIES DURING CONSTRUCTION. STREETS MAY BE CLOSED FOR CONSTRUCTION ACTIVITY DURING THE DAY. RESIDENTS SHALL BE PROVIDED 24 HOURS ADVANCE NOTICE ON ALL STREET CLOSURES.
2. ACCESS TO THE PLAYGROUND AND BASKETBALL COURT IN SORBO PARK SHALL BE MAINTAINED AT ALL TIMES.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED AS INDICATED ON THE PLAN AND/OR AS DIRECTED BY THE ENGINEER DOWN GRADIENT FROM PROPOSED WORK PRIOR TO ANY DISTURBANCE.
4. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO THEIR PRECONSTRUCTION STATE, INCLUDING TURF RESTORATION.
5. CONTRACTOR SHALL PROTECT EXISTING FOLIAGE, CLEARING AND GRUBBING OF EXISTING FOLIAGE SHALL BE AS DIRECTED BY THE ENGINEER.
6. FOR EXCESS MATERIAL, CONTRACTOR SHALL COORDINATE OFF-SITE LOCATION FOR DISPOSAL AND SUBMIT ANY PLACEMENT PLANS AND/OR PERMITTING NECESSARY TO CITY/COUNTY PRIOR TO EXPORTING MATERIAL FROM SITE (INCIDENTAL).
7. ALL EXCAVATION & EQUIPMENT SHALL REMAIN WITHIN, ROW, EASEMENTS, AND REMOVAL LIMITS SHOWN. TRENCH BOX OR SHEETING MAY BE REQUIRED.
8. CONTRACTOR SHALL PROTECT AND SUPPORT AS NECESSARY ALL TREES, BUILDINGS, LANDSCAPING, RETAINING WALLS, WALKWAYS, DRIVEWAYS, CURB & GUTTER, ETC. UNLESS NOTED OTHERWISE IN THE PLAN OR IN THE FIELD BY THE ENGINEER.
9. CONTRACTOR SHALL PROTECT & SUPPORT ALL EXISTING PUBLIC AND PRIVATE UTILITIES (GAS, TELEPHONE, ELECTRIC, CABLE, WATERMAIN, STORM, SANITARY, ETC.) AS DIRECTED BY UTILITY OWNER UNLESS OTHERWISE NOTED.
10. DEWATERING MAY BE REQUIRED TO INSTALL UTILITIES. ALL DEWATERING SHALL REQUIRE PRETREATMENT PRIOR TO DISCHARGE FROM THE SITE. ALL DEWATERING SHALL DISCHARGE NORTH WITH NO WATER DISCHARGED SOUTH INTO POND SOUTHEAST OF THE SITE.
11. CONTRACTOR MAY USE THE GRASS AREA WEST OF THE PLAYGROUND OF SORBO PARK FOR CONSTRUCTION STORAGE.

REMOVALS

1. CONTRACTOR SHALL PROTECT EXISTING CONCRETE CURB AND GUTTER AND CONCRETE SIDEWALK NOT DESIGNATED FOR REMOVAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER IN FIELD. ESTIMATED REMOVAL AND REPLACEMENT AREAS NECESSARY FOR UTILITY CONSTRUCTION ARE SHOWN IN THE PLANS. IF ADDITIONAL REMOVAL AND REPLACEMENT AREAS ARE DETERMINED TO BE NECESSARY BY THE ENGINEER, COMPENSATION TO THE CONTRACTOR SHALL BE AT THE UNIT PRICES BID.
2. CONTRACTOR SHALL SAWCUT BITUMINOUS WHEN PLACING NEW PAVEMENT ADJACENT TO INPLACE PAVEMENT TO ENSURE A UNIFORM JOINT (INCIDENTAL). SAWCUTS SHALL BE LOCATED ALONG LANE LINES AND ALL DRIVEWAY AND SIDEWALK REMOVAL LIMITS AS MARKED BY THE ENGINEER (INCIDENTAL).
3. CONTRACTOR SHALL REMOVE CONCRETE ALONG JOINT LINES TO THE MAXIMUM EXTENT POSSIBLE. REMOVAL LIMITS SHALL BE COORDINATED IN THE FIELD WITH ENGINEER.
4. CONTRACTOR SHALL PROVIDE FOR THE REMOVAL AND DISPOSAL OF ANY OTHER STRUCTURES OR DEBRIS THAT WOULD INTERFERE WITH CONSTRUCTION. ALL SUCH MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED AND SHALL EITHER BE RECYCLED TO THE EXTENT ALLOWED OR DISPOSED OF OFFSITE.
5. CONTRACTOR SHALL PROTECT EXISTING TREES NOT DESIGNATED FOR REMOVAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER IN FIELD. ESTIMATED TREE REMOVAL AREAS NECESSARY FOR CONSTRUCTION ARE SHOWN IN THE PLANS. IF ADDITIONAL REMOVAL AND REPLACEMENT AREAS ARE DETERMINED TO BE NECESSARY BY THE ENGINEER, COMPENSATION TO THE CONTRACTOR SHALL BE AT THE UNIT PRICES BID.
6. UNLESS SPECIFICALLY NOTED FOR SALVAGE, ALL MATERIALS REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE SUITABLY DISPOSED OF OFFSITE.

DRIVEWAY

1. TEST ROLLING SHALL BE REQUIRED ON SUBGRADE FOR THE DRIVEWAY AND PARKING LOT.
2. PROVIDE FOR A UNIFORM BITUMINOUS TACK COAT BETWEEN COURSES. THE TACK COAT SHALL BE APPLIED AT A UNIFORM RATE OF 0.05 GAL/SY BETWEEN BITUMINOUS LAYERS. THE APPLICATION RATES ARE FOR UNDILUTED EMULSIONS (AS SUPPLIED FROM THE REFINERY) OR CSS-1H LIQUID ASPHALTS. THE ASPHALT EMULSION MAY BE FURTHER DILUTED IN THE FIELD IN ACCORDANCE WITH SPEC. 2357.
3. STABILIZING AGGREGATE SHALL BE INCORPORATED INTO THE SUBGRADE TO ACHIEVE SATISFACTORY SURFACE STABILITY AT LOCATIONS DEEMED NECESSARY BY THE ENGINEER

MISCELLANEOUS

1. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MINNESOTA MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.
2. THE CONTRACTOR IS HEREBY REMINDED OF HIS RESPONSIBILITY UNDER STATE LAW TO CONTACT ALL UTILITIES THAT MAY HAVE FACILITIES IN THE AREA. CONTACT MUST BE MADE THROUGH GOPHER STATE ONE-CALL.
3. WHENEVER THE WORD "INCIDENTAL" IS USED IN THIS PLAN, IT SHALL MEAN THIS WORK WILL BE INCIDENTAL TO THE CONTRACT, FOR WHICH NO DIRECT COMPENSATION WILL BE MADE.

STORM SEWER TABLE

FLOWS		ALIGNMENT	STATION (1)	DESIGN		DESIGN		CASTING ASSEMBLY TYPE	RIM ELEV.	STREAM INVERT ELEV.	STREAM INVERT ELEV.	PIPE SEWER DES 3006 CL. V (3)	12" RC PIPE APRON	CONNECT TO EXISTING STORM STRUCTURE	NOTES
FROM	TO			2'x3' (2)	DESIGN (2)	DESIGN (2)	FT.								
CB-01	CB-03	Alignment - STORM MAIN	0+28.05	3.3				R-3067-V	998.21	994.94	992.78	148			
CB-03	CB-04	Alignment - STORM MAIN	1+75.06		4.4			R-3067-V	996.06	991.62	985.36	120			
CB-04	CB-05	Alignment - STORM MAIN	2+94.56		3.2			R-3067-V	988.53	985.35	985.25	25			
CB-05	CV - 1	Alignment - STORM MAIN	3+19.22		7.3			R-3067-V	988.52	985.25	985	27			4' SUMP
CB-02	CB-03	Alignment - STORM MAIN CROSSING	0+21.50	3.2				R-3067-V	995.67	992.51	992.41	25			
OC5 - 1	MH - 1	Alignment - STORM SEWER	0+86.85						988.77	982.70	978.05	81			1
MH-1		Alignment - STORM SEWER	1+67.06					R-1642	981.90						
CB - 324		Alignment - STORM SEWER	2+72.31						976.77						
CV - 1		Alignment - STORM MAIN	3+45.89											1	
CV - 2	OC5 - 1	Alignment - STORM MAIN	3+45.47							985.00	985.00	16	1		
SUBTOTALS				6.4			14.9	6				442	2	1	

STRUCTURE

- Notes:**
- (1) STATIONS ARE TO THE CENTER OF STRUCTURE
 - (2) ALL STRUCTURES GREATER THAN 4.5' SHALL HAVE STEPS (INCIDENTAL)
 - (3) PIPE LENGTH SHOWN ON THE TABLE INCLUDES APRON LENGTH
 - (4) STRUCTURE DEPTH INCLUDES SUMP DEPTH

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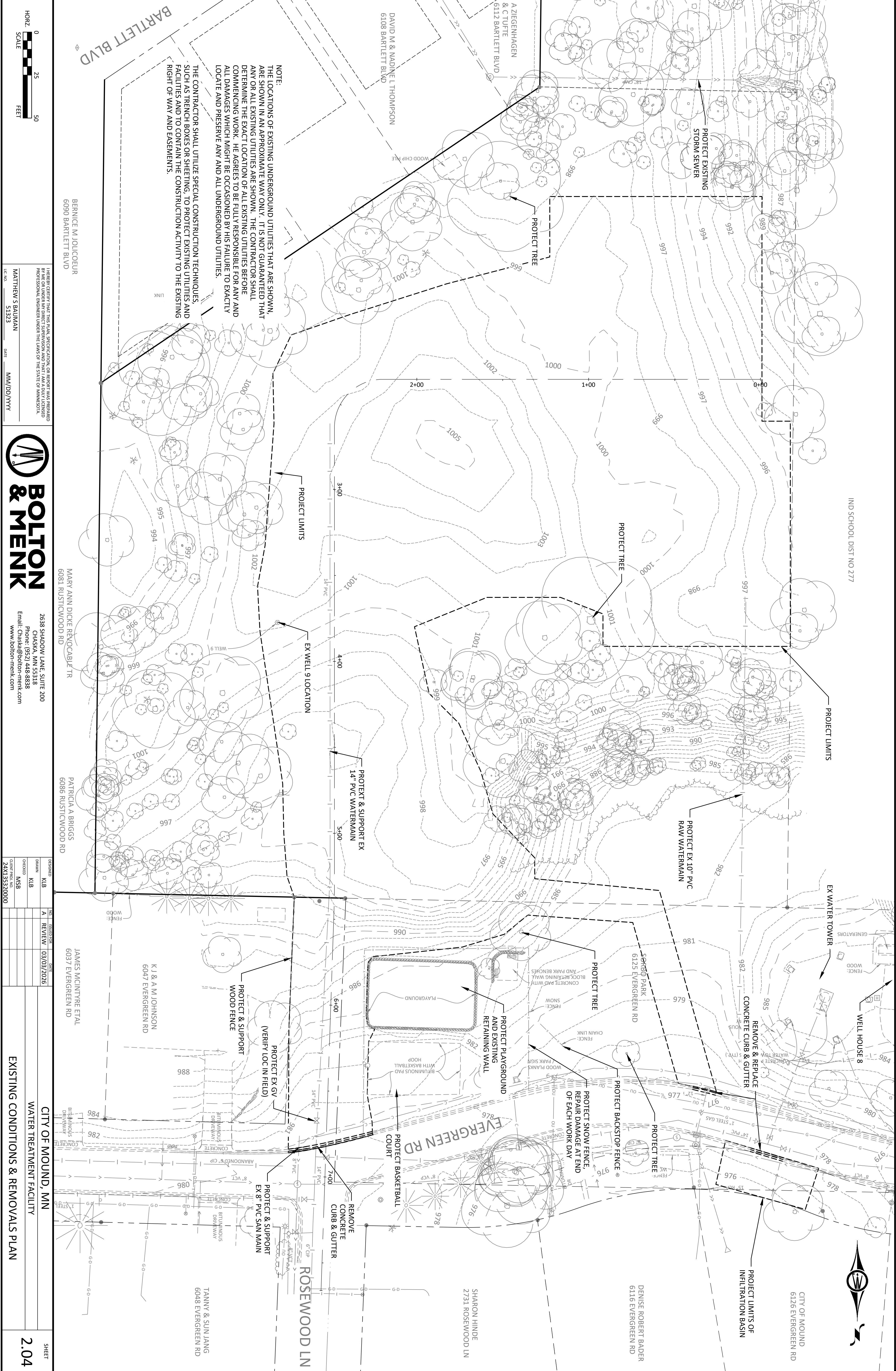
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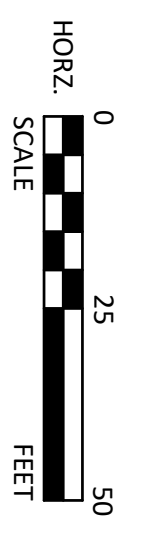
DISORDER NO.	DESCRIPTION	DATE
030001	KLB	03/03/2026
030002	KLB	
030003	MSE	
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CITY OF MOUND, MN
WATER TREATMENT FACILITY
GENERAL CIVIL NOTES & TABLES



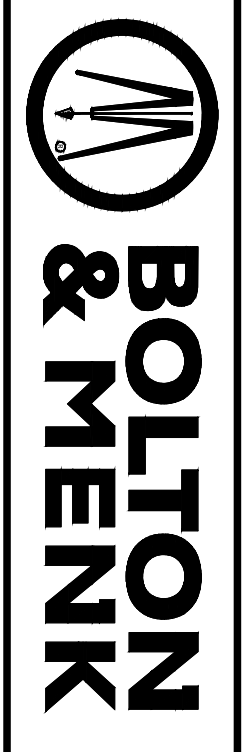
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THE CONTRACTOR SHALL UTILIZE SPECIAL CONSTRUCTION TECHNIQUES, SUCH AS TRENCH BOXES OR SHEETING, TO PROTECT EXISTING UTILITIES AND FACILITIES AND TO CONTAIN THE CONSTRUCTION ACTIVITY TO THE EXISTING RIGHT OF WAY AND EASEMENTS.



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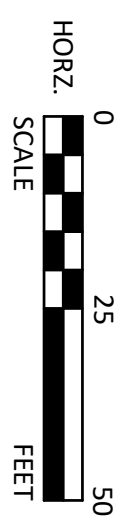


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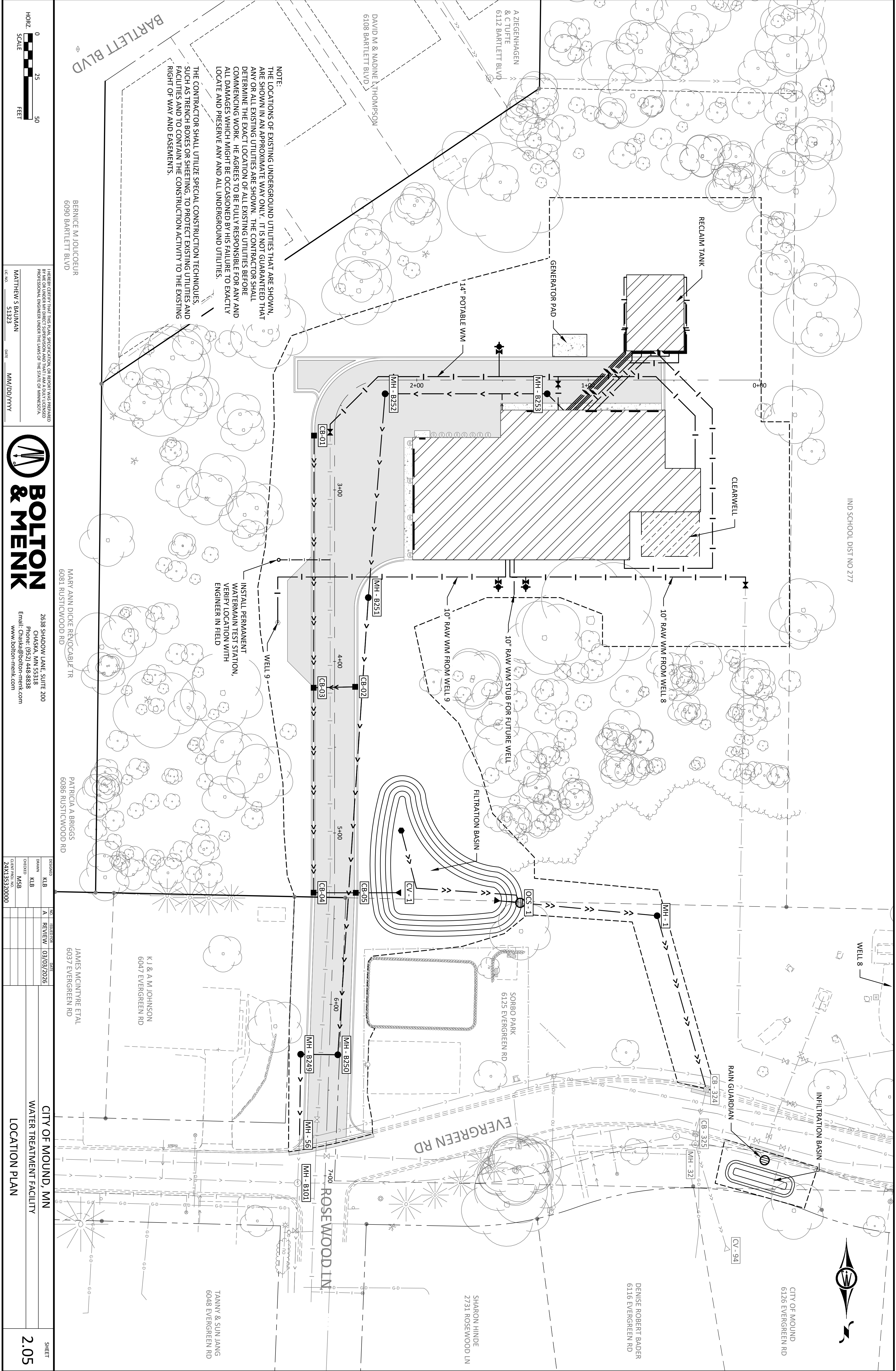
CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 EXISTING CONDITIONS & REMOVALS PLAN

SHEET
2.04



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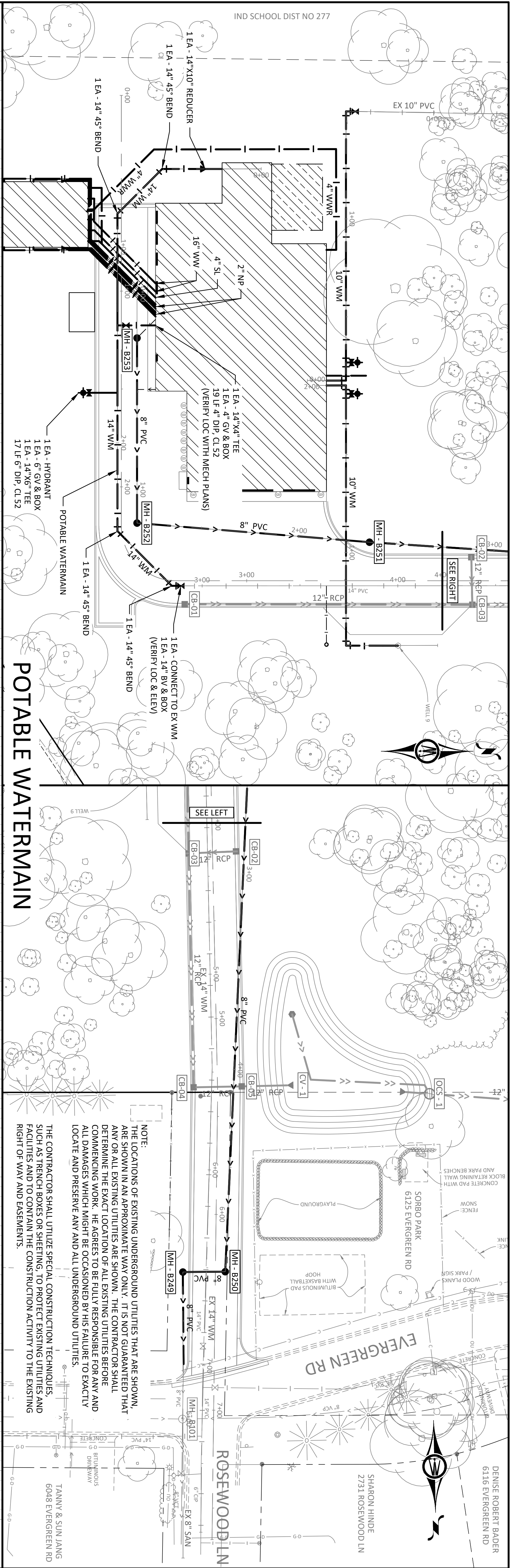
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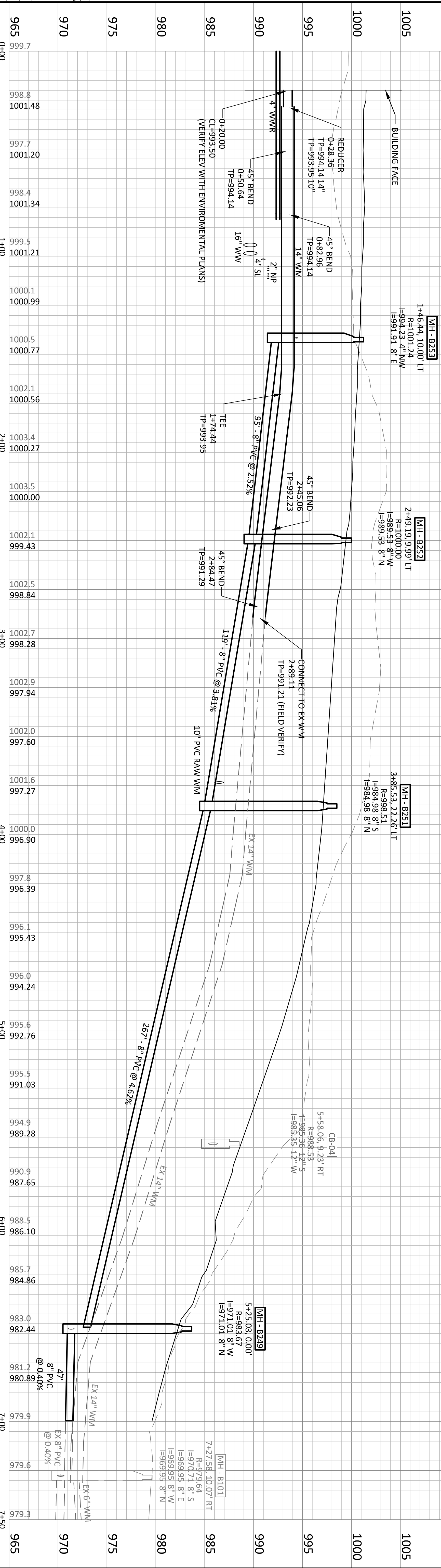
CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 LOCATION PLAN

SHEET
2.05



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HORZ. SCALE: 1" = 25'

VERT. SCALE: 1" = 5'

DATE: MM/DD/YYYY

ENGINEER: MATTHEW S. BAUMANN, 51323

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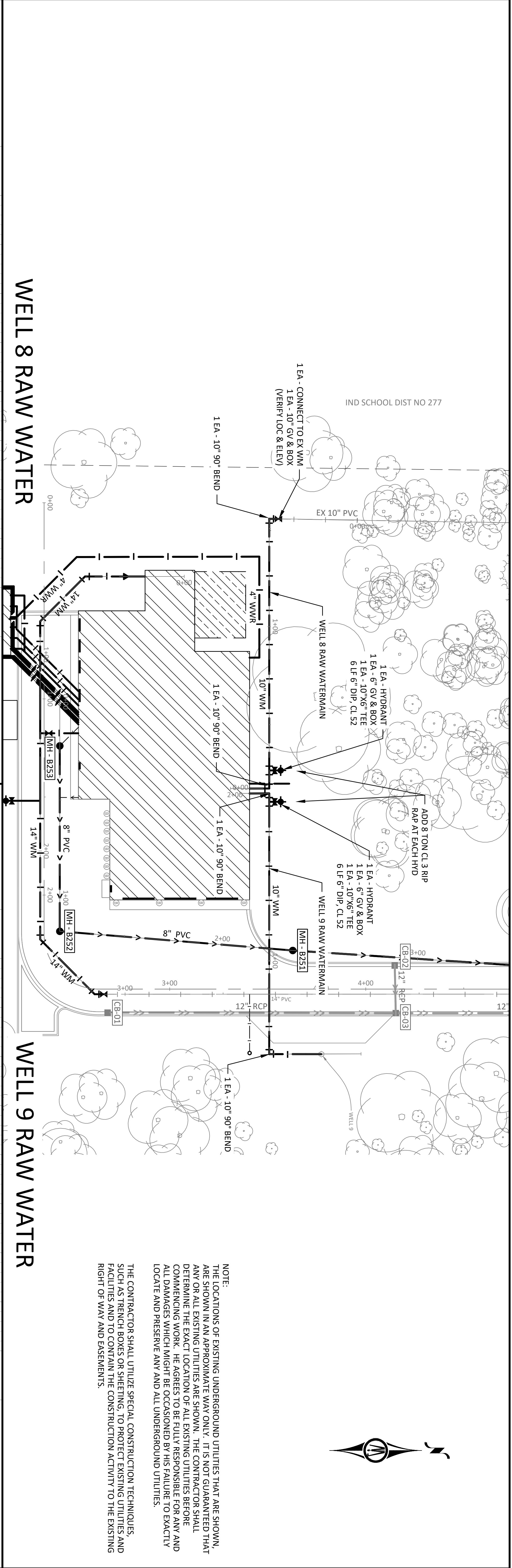
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CITY OF MOUND, MN
 WATER TREATMENT FACILITY

SHEET
2.06

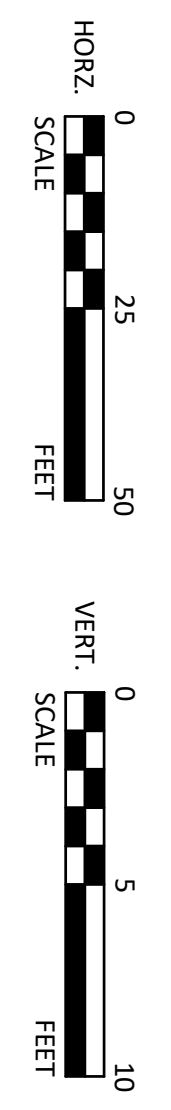
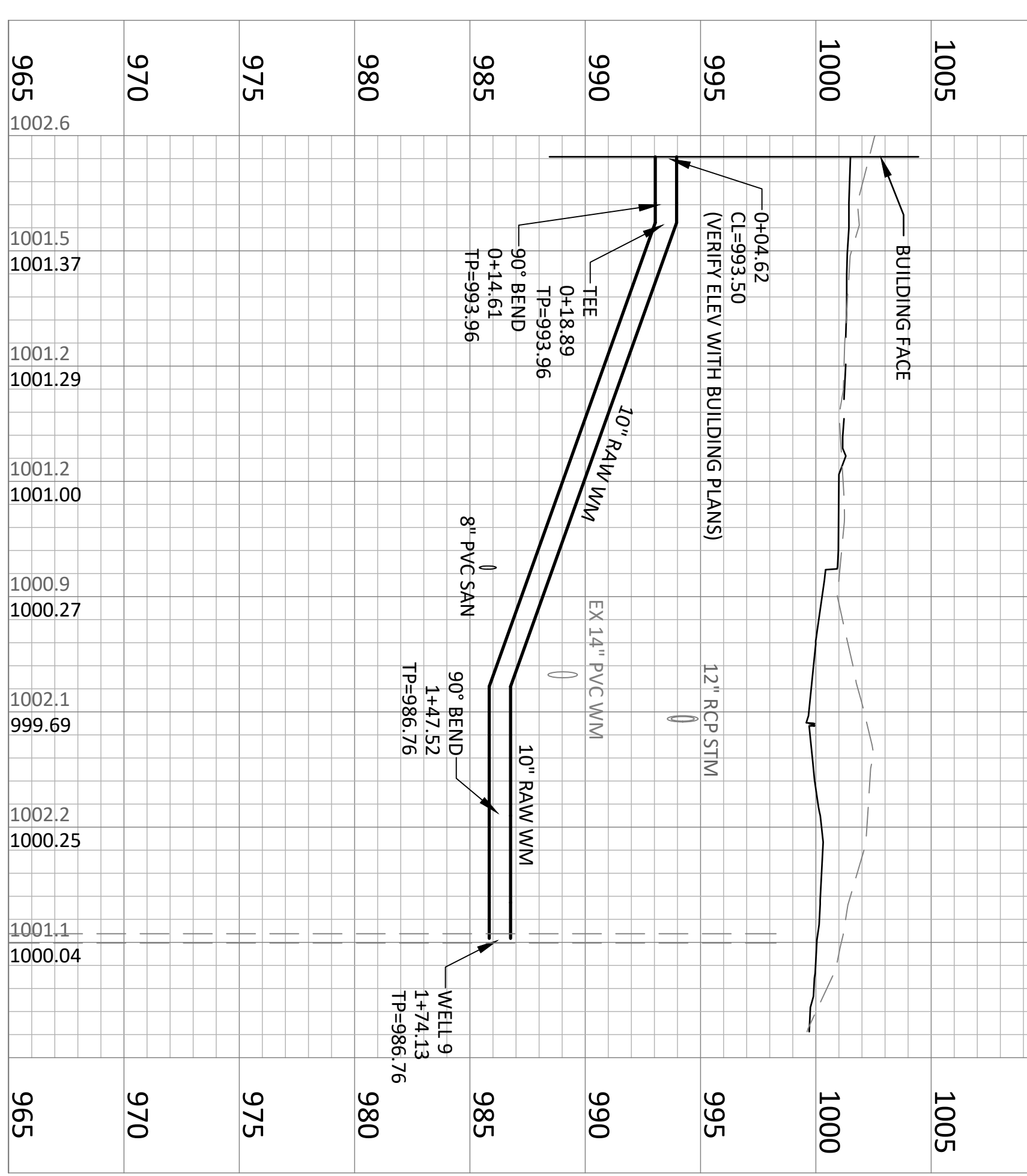
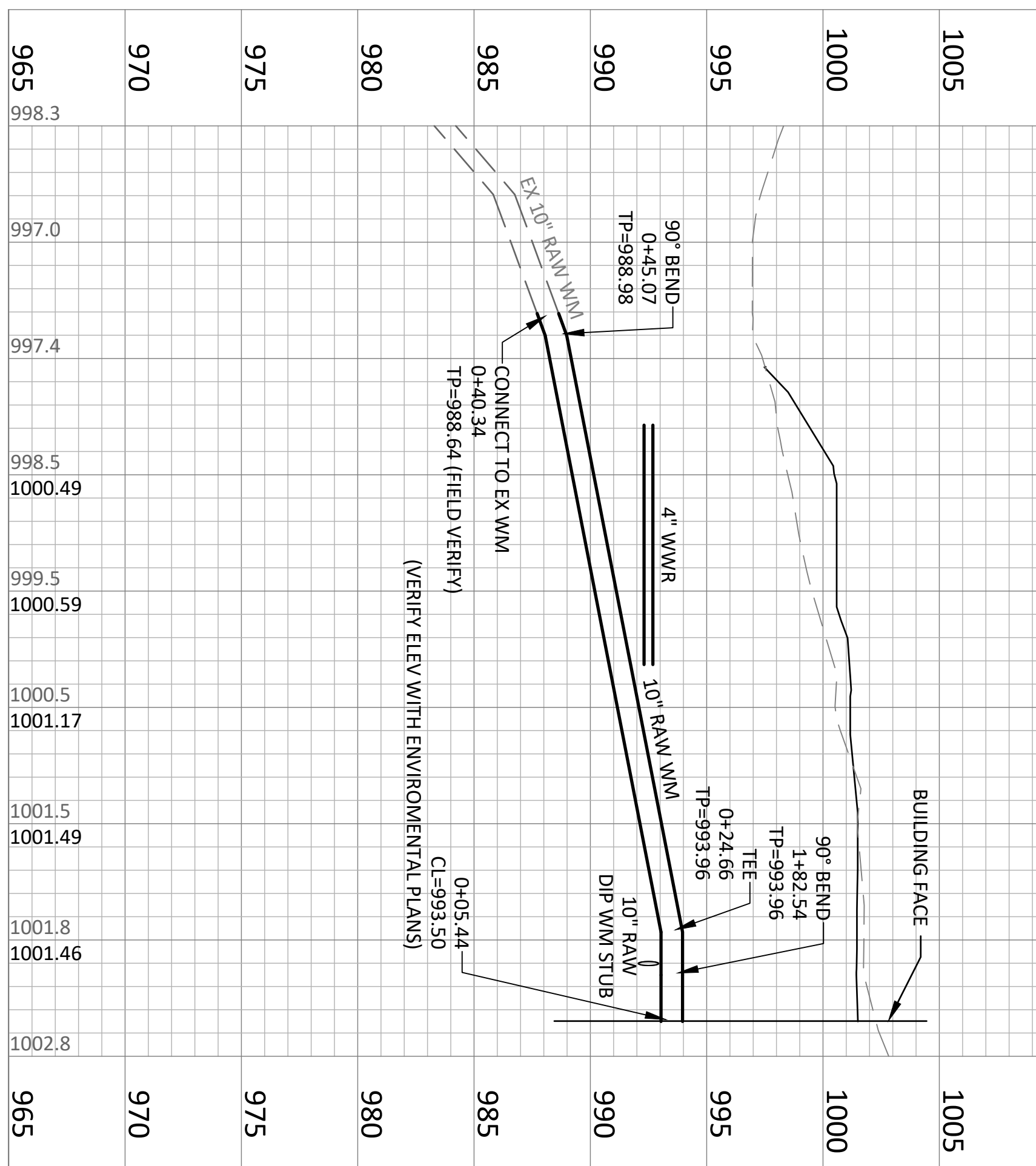


NOTE:
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THE CONTRACTOR SHALL UTILIZE SPECIAL CONSTRUCTION TECHNIQUES, SUCH AS TRENCH BOXES OR SHEETING, TO PROTECT EXISTING UTILITIES AND FACILITIES AND TO CONTAIN THE CONSTRUCTION ACTIVITY TO THE EXISTING RIGHT OF WAY AND EASEMENTS.

WELL 8 RAW WATER

WELL 9 RAW WATER



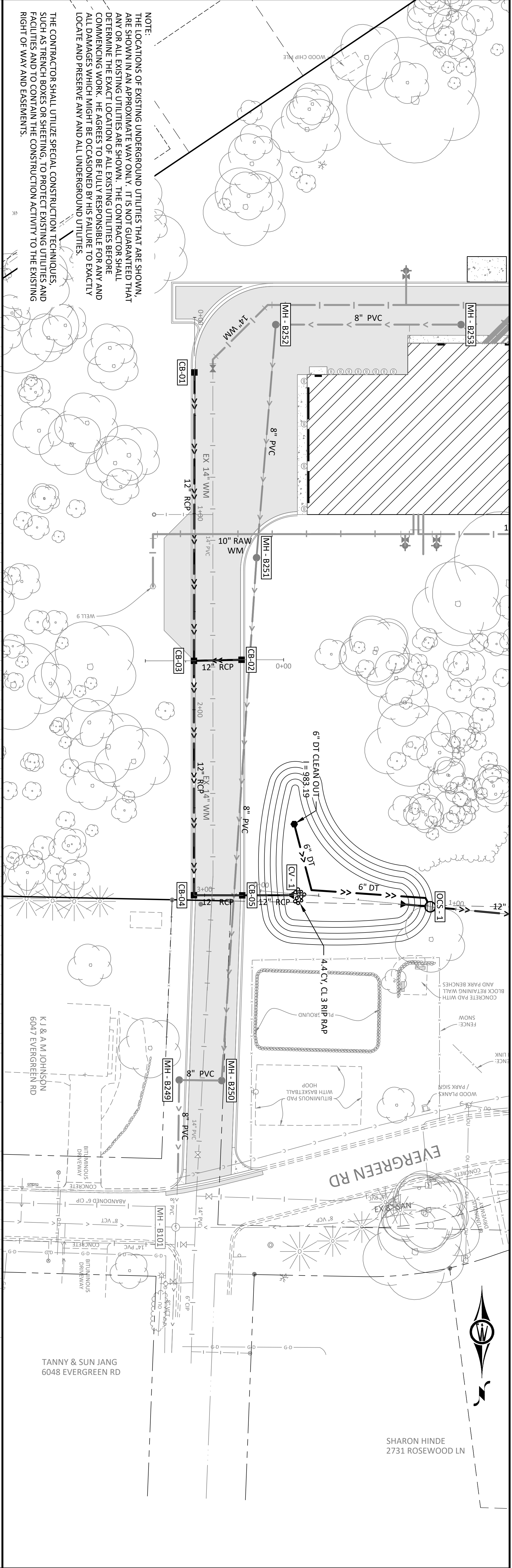
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 MATTHEW S BAUMANN
 LICENSE NO. 51323 DATE MM/DD/YYYY



2638 SHADOW LAKE, SUITE 200
 CHASKA, MN 55318
 Phone: (952) 448-8838
 Email: Chaska@bolton-menk.com
 www.bolton-menk.com

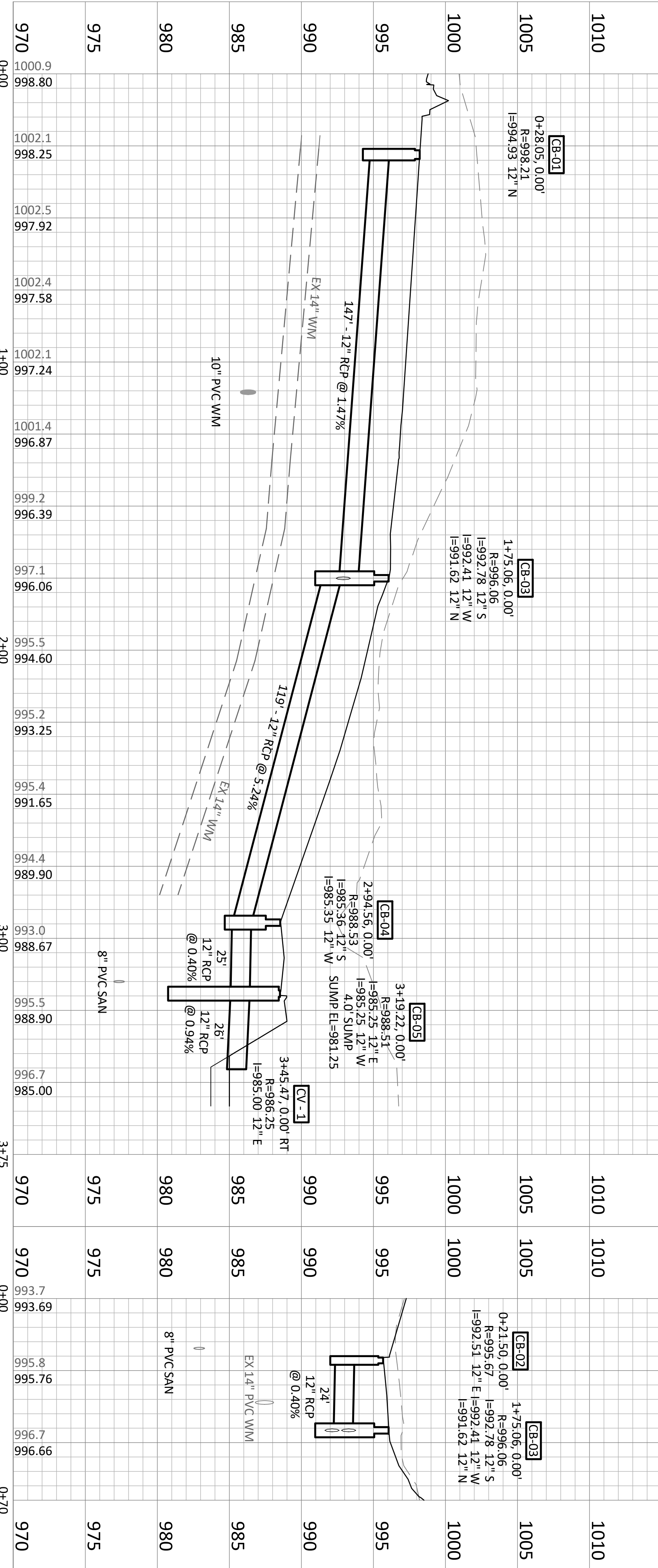
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CUSTOMER PROJ. NO.	24X135320000		

CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 RAW WATERMAIN PLAN & PROFILE



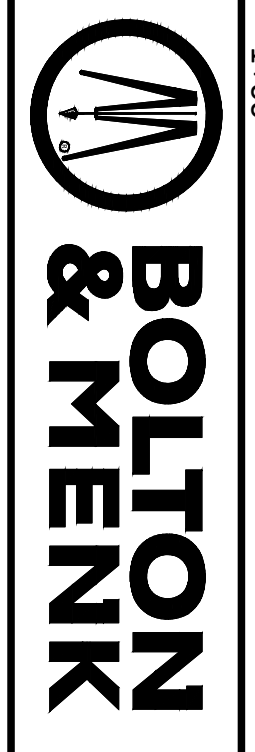
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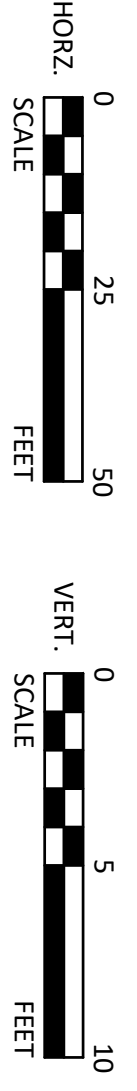


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CUSTOMER PROJECT NO.	28X135320000		

CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 STORM SEWER PLAN & PROFILE

SHEET
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 LIC. NO. 51323 DATE MM/DD/YYYY

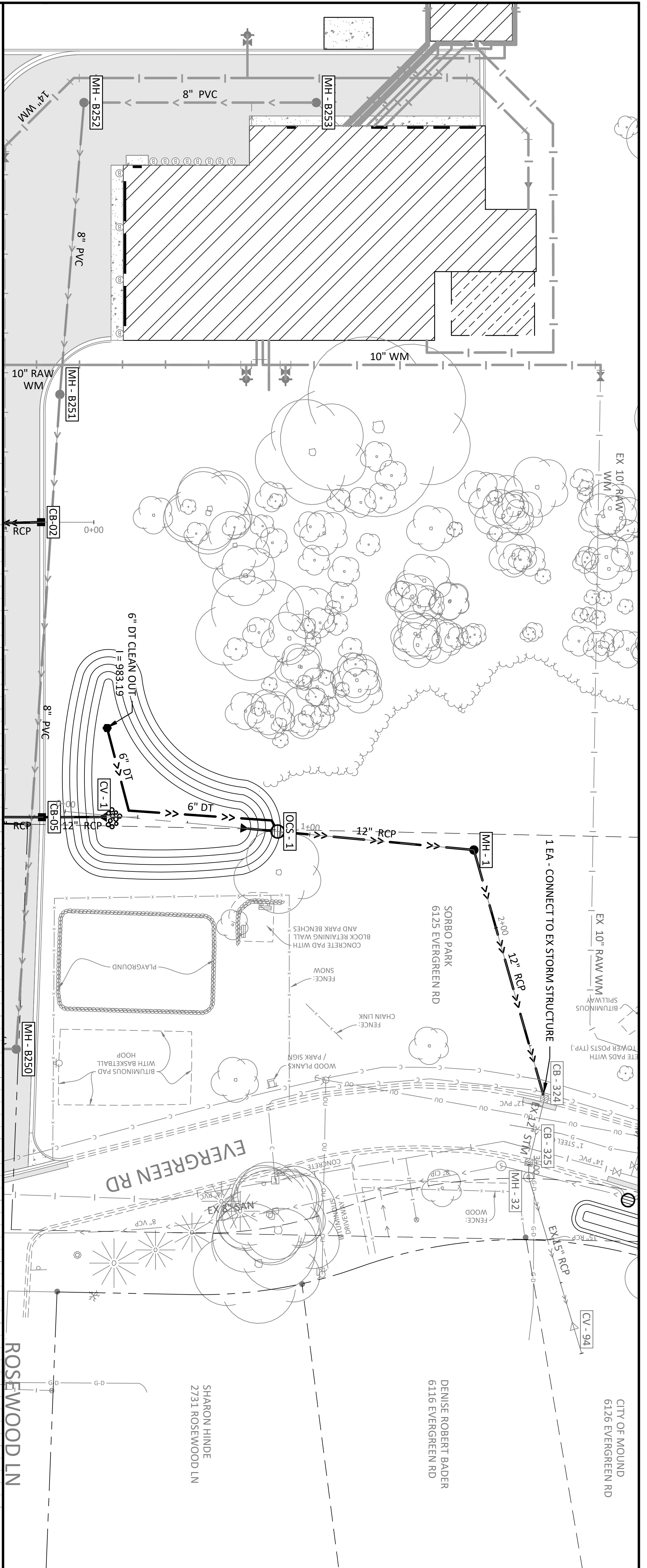
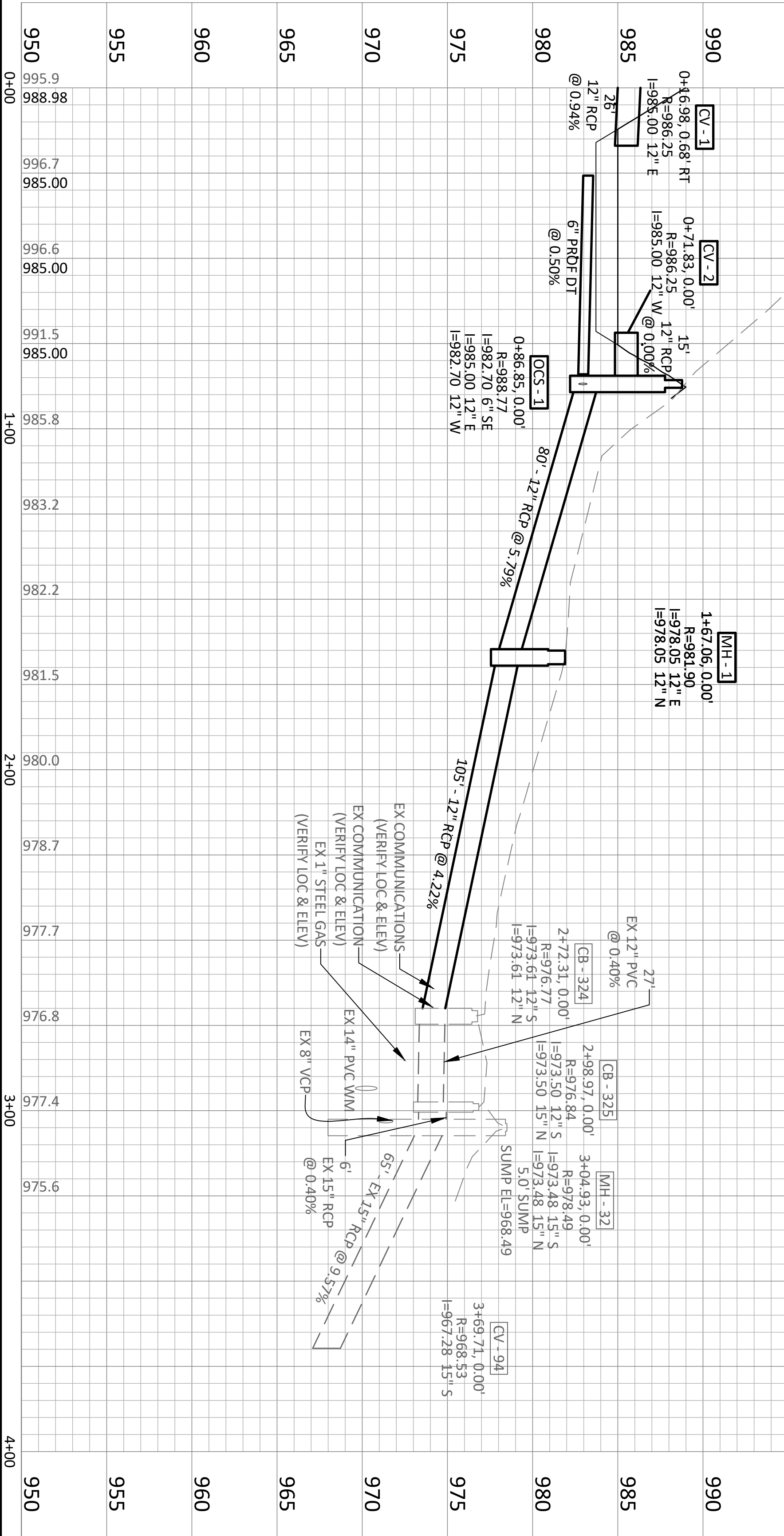


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CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 STORM SEWER PLAN & PROFILE

SHEET
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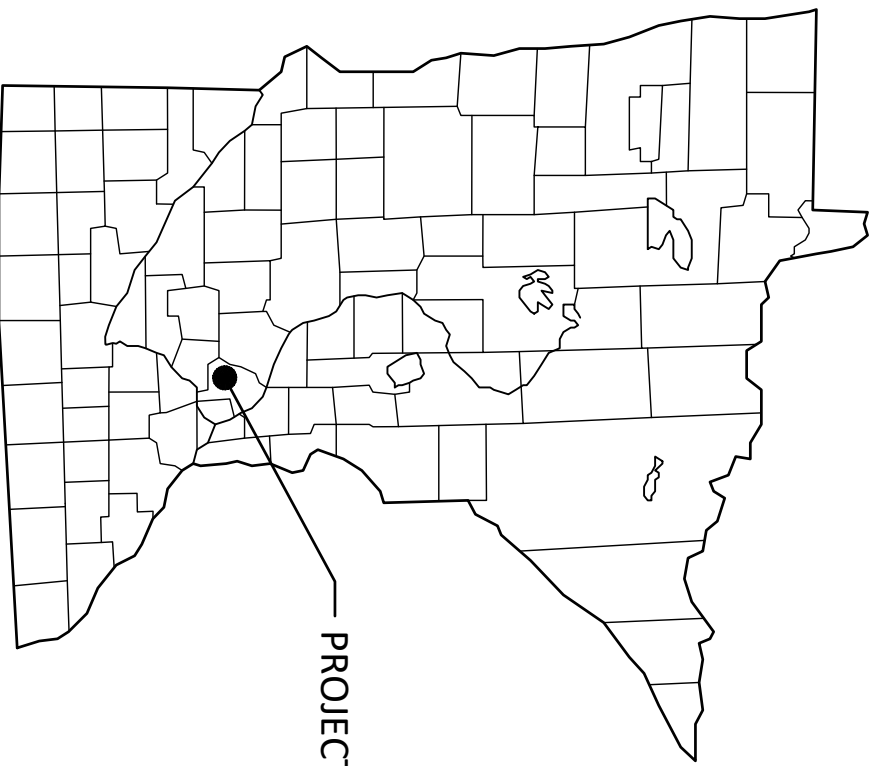
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STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

WATER TREATMENT PLANT - 2026

CITY OF MOUND
HENNEPIN COUNTY, MINNESOTA



RESPONSIBLE PARTIES:
The Contractor and Owner will be joint applicants under the MPCA's General Stormwater Permit for Construction Activity as required by the National Pollutant Discharge Elimination System (NPDES) Phase II program.

The Contractor shall provide one or more trained Construction SWPPP Manager(s) knowledgeable and experienced in the application of erosion prevention and sediment control BMPs that will oversee the implementation of the SWPPP, and the installation, inspection and maintenance of the erosion prevention and sediment control BMPs.

A Construction SWPPP Manager must be available for an on-site inspection within 72 hours upon request by the MPCA.

	COMPANY	CONTACT PERSON	PHONE
OWNER:	CITY OF MOUND	RYAN PRICH	952-472-0614
SWPPP DESIGNER:	Bolton & Menk, Inc.	MIKE SHEEHAN	612-427-6695
CONTRACTOR:	TBD	TBD	TBD
CONSTRUCTION SWPPP MANAGER:	TBD	TBD	TBD
PARTY RESPONSIBLE FOR LONG TERM O&M:	CITY OF MOUND	RYAN PRICH	952-472-0614

The SWPPP Designer, Construction SWPPP Manager, and BMP Installer must have appropriate training. Documentation showing training commensurate with the job duties and responsibilities is required to be included in the SWPPP prior to any work beginning on the site. Training documentation for the SWPPP Designer is included on the Narrative sheet. The Contractor shall attach training documentation to this SWPPP for the Construction SWPPP Manager and BMP Installer prior to the start of construction. This information shall be kept up to date until the project NOT is filed.

ADDITIONAL COMPENSATION

Payment for all work associated with Erosion and Sediment Control shall be as described in the Project Manual. Unless otherwise authorized by the Owner no additional payment shall be made for any work required to administer and maintain the site erosion and sediment control in compliance with the Minnesota Pollution Control Agency (MPCA) - General Stormwater Permit for Construction Activity (MNR R100001) including but not limited to inspection, maintenance, and removal of BMPs or addition of BMPs to accommodate Contractor phasing.

DOCUMENT RETENTION

Permittees must make the SWPPP, including all inspection reports, maintenance records, training records, and other information required by this permit, available to federal, state, and local officials within three (3) days upon request for the duration of the permit and for three (3) years following the NOT.

GENERAL STORMWATER DISCHARGE REQUIREMENTS

- All requirements listed in Section 5.1 of the Permit for the design of the permanent stormwater management system and discharge have been included in the preparation of this SWPPP. These include but are not limited to:
1. The expected amount, frequency, intensity, and duration of precipitation.
 2. The nature of stormwater runoff and run-on at the site
 3. Peak flow rates and stormwater volumes to minimize erosion at outlets and downstream channel and stream bank erosion.
 4. The range of soil particle sizes expected to be present on the site.

Permanent stormwater treatment systems for this project have been designed in accordance with the guidance in the MN Stormwater Manual in place at the time of bidding. Copies of the design information and calculations are part of this SWPPP and will be provided in digital format upon written request to the Engineer.

LEGEND

	1-MILE BOUNDARY
	PROJECT BOUNDARY
	IMPAIRED WATERS
	SPECIAL OR PROTECTED WATERS
	NATIONAL WETLANDS INVENTORY
	RECEIVING WATERS

PROJECT AREAS:

Total Project Size (disturbed area) =	5.1	ACRES
Existing area of impervious surface =	0.1	ACRES
Post construction area of impervious surface =	1.0	ACRES
Total new impervious surface area created =	0.9	ACRES

Planned Construction Start Date: 05/04/2027
Estimated Construction Completion Date: 10/29/2027

PERMANENT STORMWATER MANAGEMENT SYSTEM:

Type of storm water management used if more than 1 acre of new impervious surface is created:

X	Wet Sedimentation Basin
	Infiltration/Filtration
	Regional Pond
	Permanent Stormwater Management Not Required

PROJECT LOCATION:

COUNTY	TOWNSHIP	RANGE	SECTION	LATITUDE	LONGITUDE
HENNEPIN	117	24	23	44.9267°	-93.6796°

BMP SUMMARY	QUANTITY	UNIT
FILTRATION BASIN	5,002	CF
INFILTRATION BASIN	880	CF

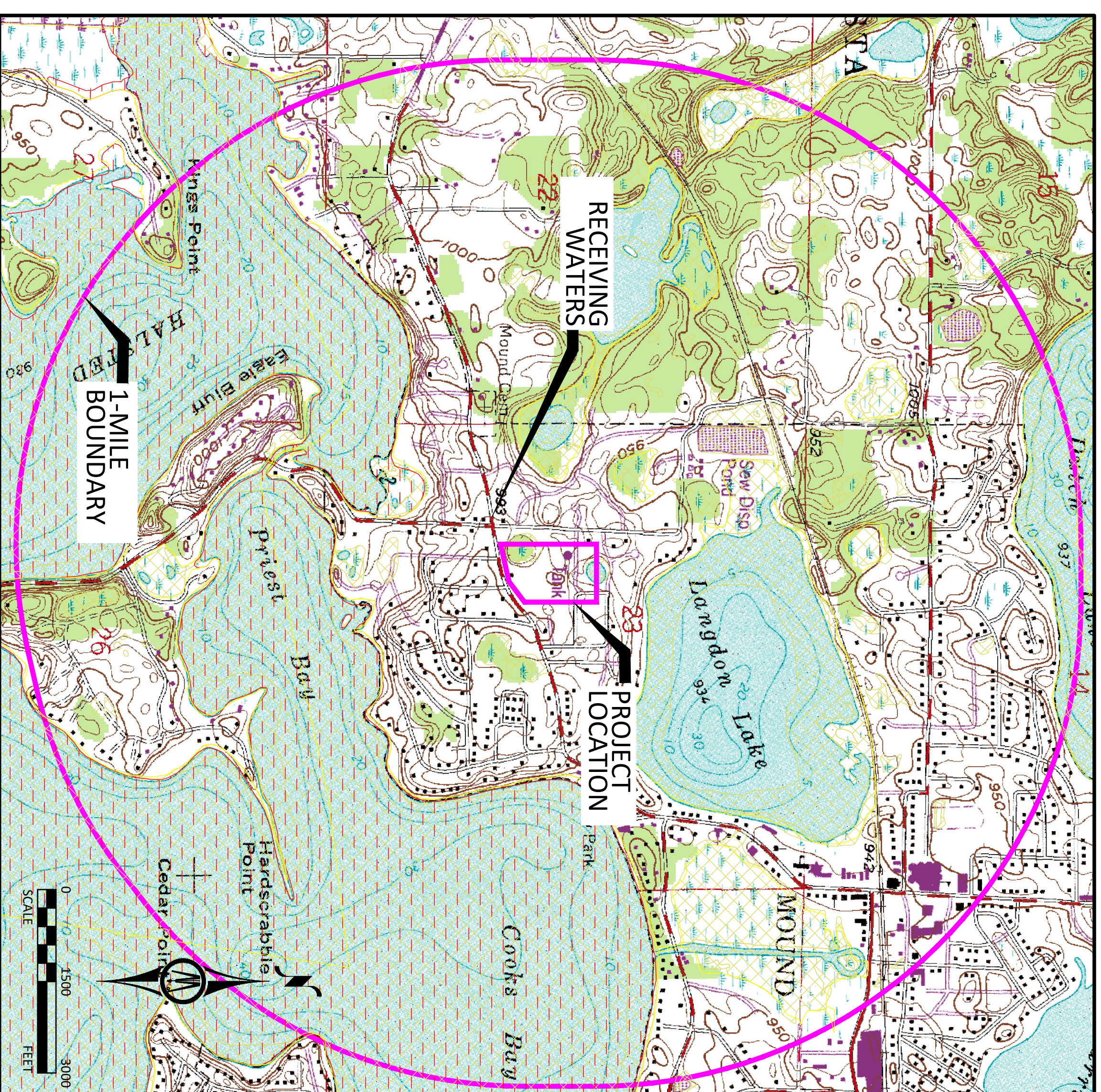
DESCRIPTION OF CONSTRUCTION ACTIVITIES AND STORMWATER MANAGEMENT:

Construction activities include: Site grading, sanitary sewer and water main extensions, temporary erosion and sediment control, permanent stabilization, building construction, and water well installation.

Stormwater currently flows north to unnamed lake, west to unnamed wetland, and southeast overland.

After construction is complete stormwater will flow west to unnamed wetland and southeast overland. Impervious surfaces will flow north to a filtration basin and infiltration basin North of Evergreen Road, before entering the unnamed lake.

This project includes the following stormwater management BMPs: filtration basin on site and infiltration basin north of Evergreen Road.

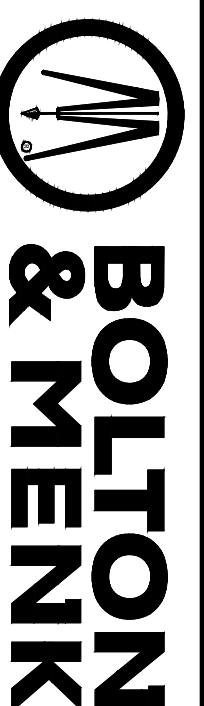


NAME OF WATER BODY	TYPE (ditch, pond, wetland, lake, etc.)	Special, Prohibited, Restricted Water ¹	Flows to Impaired Water Within 1-Mile ²	USEPA Approved Construction Related TMDL ³
UNNAMED WETLAND WEST	WETLAND	N	N	N
UNNAMED LAKE NORTH	LAKE	N	N	N
LANGDON LAKE	LAKE	N	Y	NUTRIENTS

1. Special, prohibited, and restricted waters are listed in Section 23 of the MN Construction Stormwater General Permit (MNR100001).
 2. Identified as impaired under section 303 (d) of the Federal Clean Water Act for phosphorus, turbidity, TSS, dissolved oxygen, and/or aquatic biota.
 3. Construction Related TMDLs include those related to: phosphorus, turbidity, TSS, dissolved oxygen, and/or aquatic biota.
- IMPLEMENTATION SCHEDULE AND PHASING: The Contractor is required to provide an updated schedule and site management plan meeting the minimum requirements of Section 1717 of the Minnesota Standard Specifications for Construction.

- 1) Submit SWPPP updates to Engineer. Submittal shall include any requested changes to the SWPPP, including but not limited to: Trained Personnel, Locations for Stockpiles, Concrete Washout, Sanitation Facilities, Types and locations of Erosion & Sediment Control. Failure to submit updates shall be considered acceptance of the SWPPP as designed with no changes.
- 2) Install perimeter sediment control, inlet protection, and construction exit.
- 3) Construction of proposed access road.
- 4) Construction of water treatment building.
- 5) Well boring for City use.
- 6) Add additional temporary BMPs as necessary during construction based on inspection reports.
- 7) Ensure final stabilization measures are complete.
- 8) Provide digital copy of all Field SWPPP Documentation including Inspection Reports and SWPPP Revisions to the Owner.
- 9) Submit Notice of Termination (NOT) to MPCA. NOTE: The NOT must be submitted to MPCA before Final Stabilization is considered complete.

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MATTHEW S BAUMANN
LIC. NO. 51323 DATE MM/DD/YYYY



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DESIGNED	KLB	A
REVIEWED	A	03/03/2026
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CUSTOMER FILE NO.	24X135320000	

CITY OF MOUND, MN
WATER TREATMENT FACILITY
SWPPP PLAN

SHEET
2.11

Information contained in this SWPPP narrative sheet summarizes requirements of the GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM PROGRAM - Permit No: MN R00001 (Permit) as they apply to this project. All provisions of the Permit including those not specifically cited herein shall apply to this project. The Contractor is responsible to be familiar with and comply with all conditions of the permit. The full text of the Permit is available at: <https://www.pca.state.mn.us/sites/default/files/wq-strm2-80a.pdf>

SWPPP AMENDMENTS AND SUBMITTALS

Contractor must prepare and submit to the Engineer a SWPPP amendment as necessary to include additional Best Management Practices (BMPs) to correct problems identified or address the following situations.

1. Contact information and training documentation for Construction SWPPP Manager and BMP Installer,
2. There is a change in construction method of phasing, operation, maintenance, weather or seasonal conditions not anticipated during the design of the SWPPP including but not limited to:
 - a. Types and/or Locations of BMPs
 - b. Material Storage and Spill Response
 - c. Fueling Plans
 - d. Locations for Stockpiles, Concrete Washout, and Sanitation Facilities and
 - e. Project Phasing
3. It is determined that the SWPPP is not achieving objectives of minimizing pollutants in stormwater discharges associated with construction activity, or
4. The SWPPP is not consistent with the terms and conditions of the permit.

The Contractor may implement SWPPP amendments immediately and is not required to wait for Engineer review of the submittal. The responsibility for completeness of SWPPP amendments and compliance with the Permits lies with the Contractor. Review, comment, or lack of comment by the Engineer on a SWPPP amendment shall not absolve the responsibilities of the Contractor in any way.

If a change order is issued for a design change the SWPPP amendment will be prepared by the Engineer and included in the change order.

In addition to SWPPP amendments, the Contractor shall submit to the Engineer Weekly Erosion and Sediment Control Schedule meeting the requirements of MnDOT 1717.

The Contractor shall keep copies of all SWPPP amendments, Weekly Erosion and Sediment Control Schedules, Inspection logs, and maintenance logs with the field copy of the SWPPP. A PDF copy of these documents will be provided along with a copy of the final Field Copy of the SWPPP to the Engineer along with the signed Notice of Termination when final stabilization is complete.

EROSION PREVENTION PRACTICES

Stormwater conveyance channels shall be routed around unstabilized areas. Erosion controls and velocity dissipation devices shall be used at outlets within and along the length of any constructed conveyance channel.

The normal wetted perimeter of all ditches or swales, including storm water management pond slopes, that drain waters from the site must be stabilized within 200' of any property edge or discharge point, including storm sewer inlets, within 24 hours of connection.

Temporary or permanent ditches or swales used as sediment containment during construction do not need to be stabilized during temporary period of use and shall be stabilized within 24 hours after no longer used as sediment containment.

Mulch, hydromulch, tackifier, or similar practice shall not be used in any portion of the wetted perimeter of a temporary or permanent drainage ditch or swale section with a continuous slope of greater than 2 Percent.

Energy dissipation shall be installed at all temporary or permanent pipe outlets within 24 hours of connection to a surface water or permanent stormwater treatment system.

The Contractor shall phase construction and use construction methods to the extent practical to minimize exposed soils. The project phasing shall be documented in the Weekly Erosion and Sediment Control Schedule.

SEDIMENT CONTROL PRACTICES

Down gradient BMPs including perimeter BMPs must be in place before up gradient land-disturbing activities begin and shall remain in place until final stabilization.

All BMPs that have been adjusted or removed to accommodate short-term activities shall be re-installed or replaced the earlier of the end of the work day or before the next precipitation event even if the activity is not complete.

Inlet BMPs may be removed for specific safety concerns. The BMPs shall be replaced as soon as the safety concern is resolved. The removal shall be documented in the SWPPP as a SWPPP amendment.

Temporary stockpiles must have sediment control BMPs. The Contractor shall prepare and submit to the Engineer a SWPPP amendment showing the location of temporary stockpiles and the BMPs for each stockpile. The SWPPP amendment must meet the minimum requirements of Section 9 of the Permit.

Soil compaction shall be minimized and topsoil shall be preserved, unless infeasible or if construction activities dictate soil compaction or topsoil stripping.

The use of polymers, flocculants, or other sedimentation treatment chemicals are not proposed as part of this SWPPP as designed by the Engineer. If methods or phasing of construction require the use of any of these chemicals, the Contractor shall prepare and submit to the Engineer a SWPPP amendment that meets the minimum requirements of Section 9 of the Permit.

TEMPORARY SEDIMENTATION BASINS

A temporary sedimentation basin has not been included in this SWPPP as designed by the Engineer. If a basin is later determined to be desirable or necessary the Contractor shall prepare and submit to the Engineer a SWPPP amendment. Temporary sedimentation basins shall meet or exceed the minimum requirements of Section 14 of the Permit and shall include a basin draining plan meeting or exceeding the minimum requirements of Section 10 of the Permit. Where the site discharges to Special and/or Impaired Waters the SWPPP amendment shall also meet or exceed the minimum requirements of Section 23 of the permit.

DEWATERING

A dewatering plan has not been included in this SWPPP as designed by the Engineer. If dewatering is required for this project, the Contractor shall prepare and submit to the Engineer a SWPPP amendment. All dewatering shall meet or exceed the minimum requirements of Section 10 of the Permit.

POLLUTION PREVENTION

Products and materials that have the potential to leach pollutants that are stored on the site must be stored in a manner designed to minimize contact with stormwater. Materials that are not a source of potential contamination to stormwater or that are designed for exposure to stormwater are not required to be covered.

Hazardous materials including but not limited to pesticides, fertilizer, petroleum products, curing compounds and toxic waste must be properly stored and protected from stormwater exposure as recommended by the manufacturer in an access restricted area.

Solid waste must be stored, collected and disposed of in compliance with Minnesota Administrative Rules Chapter 7035. Portable toilets must be positioned so that they are secure and will not be tipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn. R. CH 7041.

Exterior vehicle or equipment washing on the project site shall be limited to a defined area of the site. No engine degreasing is allowed on site. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.

The Contractor shall prepare and submit a SWPPP amendment detailing the location and BMPs proposed for storage of materials, solid waste, portable toilets, and exterior vehicle or equipment washing on the site. The SWPPP amendment shall include a spill prevention and response plan that is appropriate for the materials proposed to be on the site. The SWPPP amendment shall meet or exceed the minimum requirements of Section 12 of the Permit.

INSPECTION & MAINTENANCE

A trained person shall routinely inspect the entire construction site at the time interval indicated on this sheet of the SWPPP during active construction and within 24-hours after a rainfall event greater than 0.5 inches in 24 hours. Following an inspection that occurs within 24-hours after a rainfall event, the next inspection must be conducted at the time interval indicated in the Receiving Waters Table found on the SITE PLAN AND INFORMATION SHEET of the SWPPP.

All inspections and maintenance conducted during construction must be recorded on the day it is completed and must be retained with the SWPPP. Inspection report forms are available in the Project Specifications. Inspection report forms other than those provided shall be approved by the engineer.

- The Contractor may request a change in inspection schedule for the following conditions:
- a. Inspections of areas with permanent cover and have had no construction activity for 12 months to be suspended until construction resumes,
 - b. Inspections of areas that have permanent cover and have had no construction activity for 12 months to be suspended the earlier of within 24 hours of runoff occurring, or upon resuming construction.
 - c. Inspections of areas where construction is suspended due to frozen ground conditions, inspections to be suspended until No change in inspection schedule shall occur until authorized by the Engineer.

Inspections must include:

1. All erosion prevention and sediment control BMPs and Pollution Prevention Management Measures to ensure integrity and effectiveness.
 2. Surface waters, including drainage ditches and conveyance systems for evidence of erosion and sediment deposition.
 3. Construction site vehicle exit locations, streets and curb and gutter systems within and adjacent to the project for sedimentation from erosion or tracked sediment from vehicles.
 4. Infiltration areas to ensure that no sediment from ongoing construction activity is reaching the infiltration area and that equipment is not being driven across the infiltration area.
- All non-functioning BMPs and those BMPs where sediment reaches one-half (1/2) of the depth of the BMP, or in the case of sediment basins one-half (1/2) of the storage volume, must be repaired, replaced, or supplemented by the end of the next business day after discovery, or as soon as field conditions allow.
- Permittees must repair, replace or supplement all nonfunctional BMPs with functional BMPs by the end of the next business day after discovery, or as soon as field conditions allow.

Any sediment that escapes the site must be removed and the area stabilized within 7 calendar days of discovery unless precluded by legal, regulatory, or physical access in which case the work shall be completed within 7 calendar days of authorization. Paved surfaces such as streets shall have any escaped or tracked sediment removed by the end of the day that it is discovered. Sediment release, other than paved surfaces that can be cleaned up with street sweeping shall be reported immediately upon discovery to the Engineer.

PUBLIC WATER RESTRICTIONS:

For public waters that have been promulgated "work in water restrictions" during fish spawning time frames, all exposed soil areas that are within 200 feet of the water's edge, and drain to these waters must complete stabilization within 24-hours during the time period. MN DNR permits are not valid for works in waters that are designated as infested waters unless accompanied by an Infested Waters Permit or written notification has been obtained from MN DNR stating that such permit is not required. There is no exception for pre-existing permits. If a MN DNR Permit has been issued for the project and the water is later designated as infested, the Contractor shall halt all work covered by the MN DNR Permit until an Infested Waters Permit is obtained or that written notification is obtained stating that such permit is not required.

FINAL STABILIZATION

Final Stabilization is not complete until all the following requirements have been met:

1. Substantial Completion has been reached and no ground disturbing activities are anticipated.
2. Permanent cover has been installed with an established minimum uniform perennial vegetation density of 70 percent of its expected final growth. Vegetation is not required in areas where no vegetation is proposed by this project such as impervious surfaces or the base of a sand filter.

3. Accumulated sediment has been removed from all permanent stormwater treatment systems as necessary to ensure the system is operating as designed.

4. All sediment has been removed from conveyance systems
5. All temporary synthetic erosion prevention and sediment control BMPs have been removed. BMPs designated on the SWPPP to remain to decompose on-site may remain.
6. For residential construction only, permit coverage terminates on individual lots if the structures are finished and temporary erosion prevention and downgradient perimeter control is complete, the residence sells to the homeowner, and the permittee distributes the MPCAs "Homeowner Fact Sheet" to the homeowner.
7. For agricultural land only (e.g., pipelines across cropland), the disturbed land must be returned to its preconstruction agricultural use prior to submitting the NOT.

SITE STABILIZATION COMPLETION:

Stabilization of exposed soils shall begin immediately and shall be completed after the construction activity has temporarily or permanently ceased no later than:	14 calendar days
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SITE INSPECTION INTERVAL:

A trained person shall routinely inspect the entire construction site during active construction at an interval of no more than:	7 calendar days
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SPECIAL ENVIRONMENTAL CONSIDERATIONS AND PERMITS:

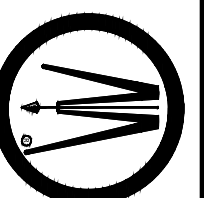
1) Was an environmental review required for this project or any part of a common plan of development or sale that includes all or any portion of this project?	NO
2) Does any portion of the site have the potential to affect threatened or endangered species or their critical habitat?	NO
3) Does any portion of this site discharge to a Calcareous fen.	NO
4) Will any portion of the site potentially affect properties listed on the National Register of Historic Places or a known or discovered archeological site?	NO
5) Have any Karst features have been identified in the project vicinity?	NO
6) Is compliance with temporary or permanent stormwater management design requirements infeasible for this project?	YES
7) Has the MN DNR promulgated "work in water restrictions" for any Public Water this site discharges to during fish spawning?	NO

TYPE OF PERMIT	PERMITTING AGENCY	PERMIT STATUS AND CONDITIONS
Construction Stormwater NPDES	MPCA	IN PROGRESS
WATER PERMIT	MDH	IN PROGRESS
STORMWATER & EROSION PERMIT	MCWD	IN PROGRESS

SWPPP DESIGNER TRAINING DOCUMENTATION:

University of Minnesota
 Michael Sheehan
 Design of Construction SWPPP (May 31 2026)

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 MATTHEW S BAUMANN DATE MM/DD/YYYY
 LIC. NO. 51323



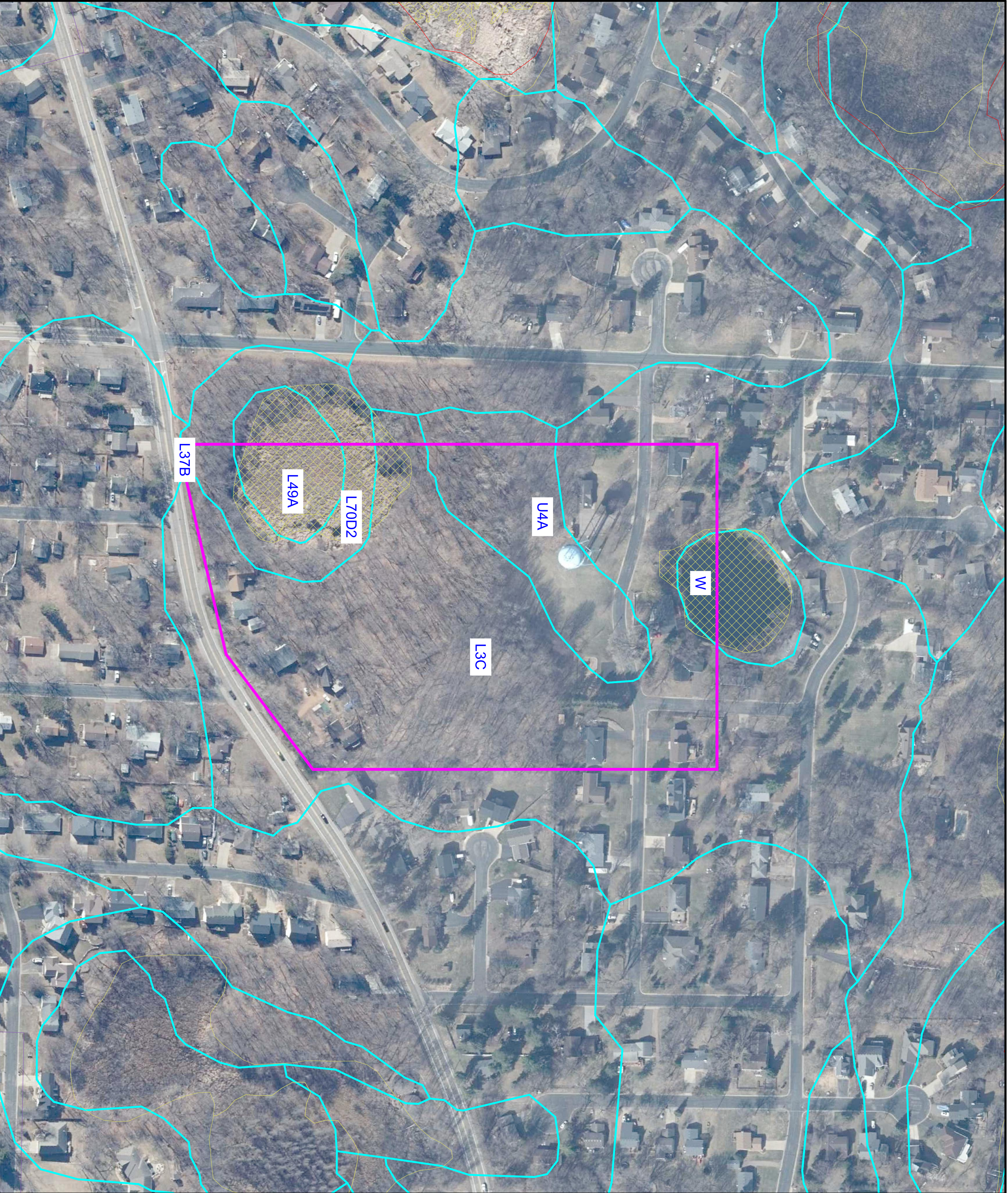
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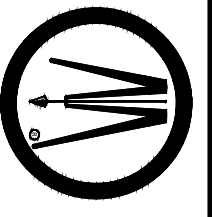
DISORDER	NO. OF REVISIONS	DATE
ISSUED	A	03/03/2026
CHANGED	KLB	
CREATED	MSS	
CUSTOM FIELD NO.	24\135320000	

CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 SWPPP NARRATIVE

SHEET
2.12



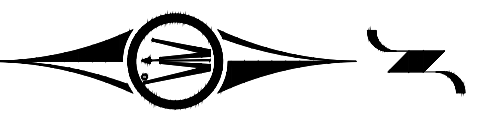
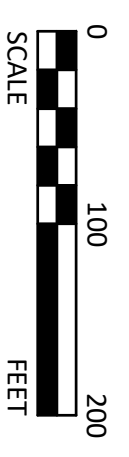
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 MATTHEW S BAUMANN
 LIC. NO. 51323 DATE MM/DD/YYYY



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DESIGNED	KLB	DATE	03/03/2026
DRAWN	KLB	REVIEW	03/03/2026
CHECKED	MSE		
CUSTOMER PROJ. NO.	24X135320000		



- LEGEND**
- PROJECT BOUNDARY
 - SOIL TYPE
 - IMPAIRED, SPECIAL OR PROTECTED WATERS
 - NATIONAL WETLANDS INVENTORY
 - DWSMA, LOW VULNERABILITY
 - STEEP SLOPES (>33.3%)
 - RECEIVING WATERS

SOIL TYPE SUMMARY

Map Unit Symbol	Soil Name	Hyd. Soil Group
MUSYM	MUNAME	HYDGRP
L3C	RASSET SANDY LOAM	A
U4A	URBAN LAND UDIPSAMMENTS	A
L70D2	LESTER-MALARDI COMPLEX	B
L49A	KLOSSNER SOILS, DEPRESSIONAL	B/D
L37B	ANGUS LOAM	C

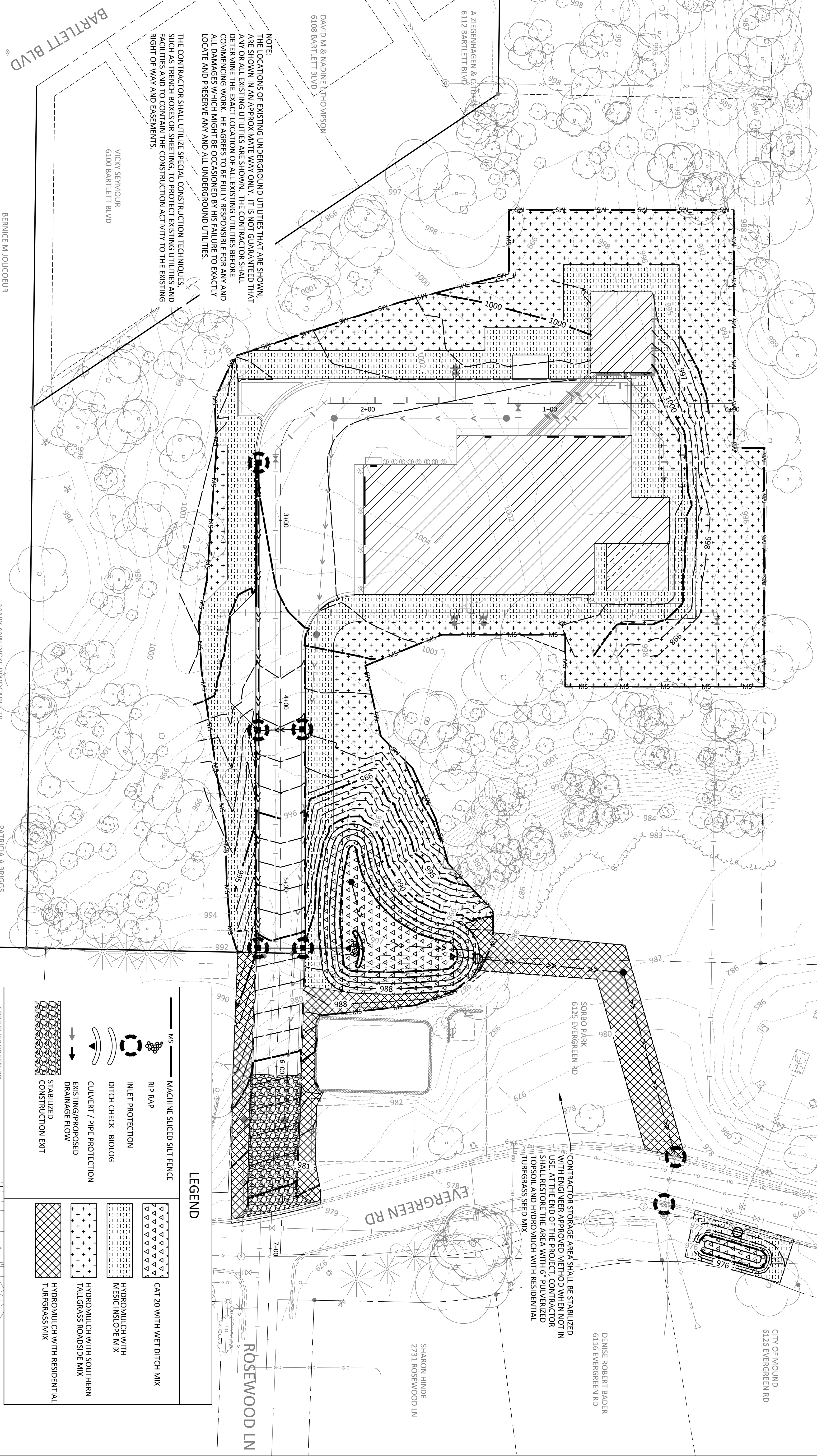
LOCATION OF SWPPP REQUIREMENTS IN PROJECT PLAN

DESCRIPTION	SHEET NO.
SITE MAP	2.05
DIRECTION OF FLOW	2.15
FINAL STABILIZATION	2.14
SOILS	2.13
DRAINAGE STRUCTURES	1.13
DRAINAGE TABULATION	C2.10
STORM SEWER PLAN & PROFILE SHEETS	2.09 - 2.10
EROSION & SEDIMENT CONTROL DETAILS	2.14
EROSION CONTROL TABULATION	2.11
TURF ESTABLISHMENT TABULATION	C2.XX
NARRATIVE & NOTES	2.11 - 2.12

CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 SWPPP SOILS

SHEET
2.13

IND SCHOOL DIST NO 277



NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES THAT ARE SHOWN, ARE SHOWN IN AN APPROXIMATE WAY ONLY. IT IS NOT GUARANTEED THAT ANY OR ALL EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

THE CONTRACTOR SHALL UTILIZE SPECIAL CONSTRUCTION TECHNIQUES, SUCH AS TRENCH BOXES OR SHEETING, TO PROTECT EXISTING UTILITIES AND FACILITIES AND TO CONTAIN THE CONSTRUCTION ACTIVITY TO THE EXISTING RIGHT-OF-WAY AND EASEMENTS.

VICKY SEWMOUR
 6100 BARTLETT BLVD

BERNICE M LOULCOEUR
 6090 BARTLETT BLVD

MARY ANN DICKE REVOCABLE TR
 6081 RUSTICWOOD RD

PATRICIA A BRIGGS
 6086 RUSTICWOOD RD

SORBO PARK
 6125 EVERGREEN RD

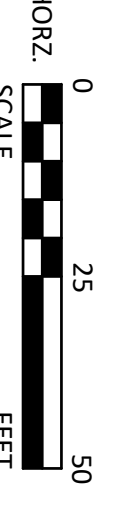
DENISE ROBERT BADER
 6116 EVERGREEN RD

SHARON HINDE
 2731 ROSEWOOD LN

LEGEND

	MACHINE SLICED SILT FENCE
	RIP RAP
	INLET PROTECTION
	DITCH CHECK - BILOG
	CULVERT / PIPE PROTECTION
	EXISTING / PROPOSED DRAINAGE FLOW
	STABILIZED CONSTRUCTION EXIT
	CAT 20 WITH WET DITCH MIX
	HYDROMULCH WITH MESC IN SLOPE MIX
	HYDROMULCH WITH SOUTHERN TALLGRASS ROADSIDE MIX
	HYDROMULCH WITH RESIDENTIAL TURFGRASS MIX

CONTRACTOR STORAGE AREA SHALL BE STABILIZED WITH ENGINEER APPROVED METHOD WHEN NOT IN USE. AT THE END OF THE PROJECT, CONTRACTOR SHALL RESTORE THE AREA WITH 6" POLYMERIZED TOPSOIL AND HYDROMULCH WITH RESIDENTIAL TURFGRASS SEED MIX



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 MATTHEW S BAUMANN
 51323
 DATE MM/DD/YYYY

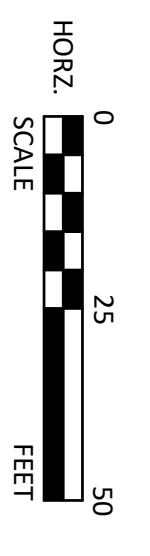


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DESIGNED	KLB	10/11/2025
DRAWN	KLB	03/03/2026
CHECKED	M5B	
CUSTOMER PROJ. NO.	24X135320000	

CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 EROSION CONTROL

SHEET
 2.14



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 MATTHEW S BAUMANN
 LICENSE NO. 51323 DATE MM/DD/YYYY

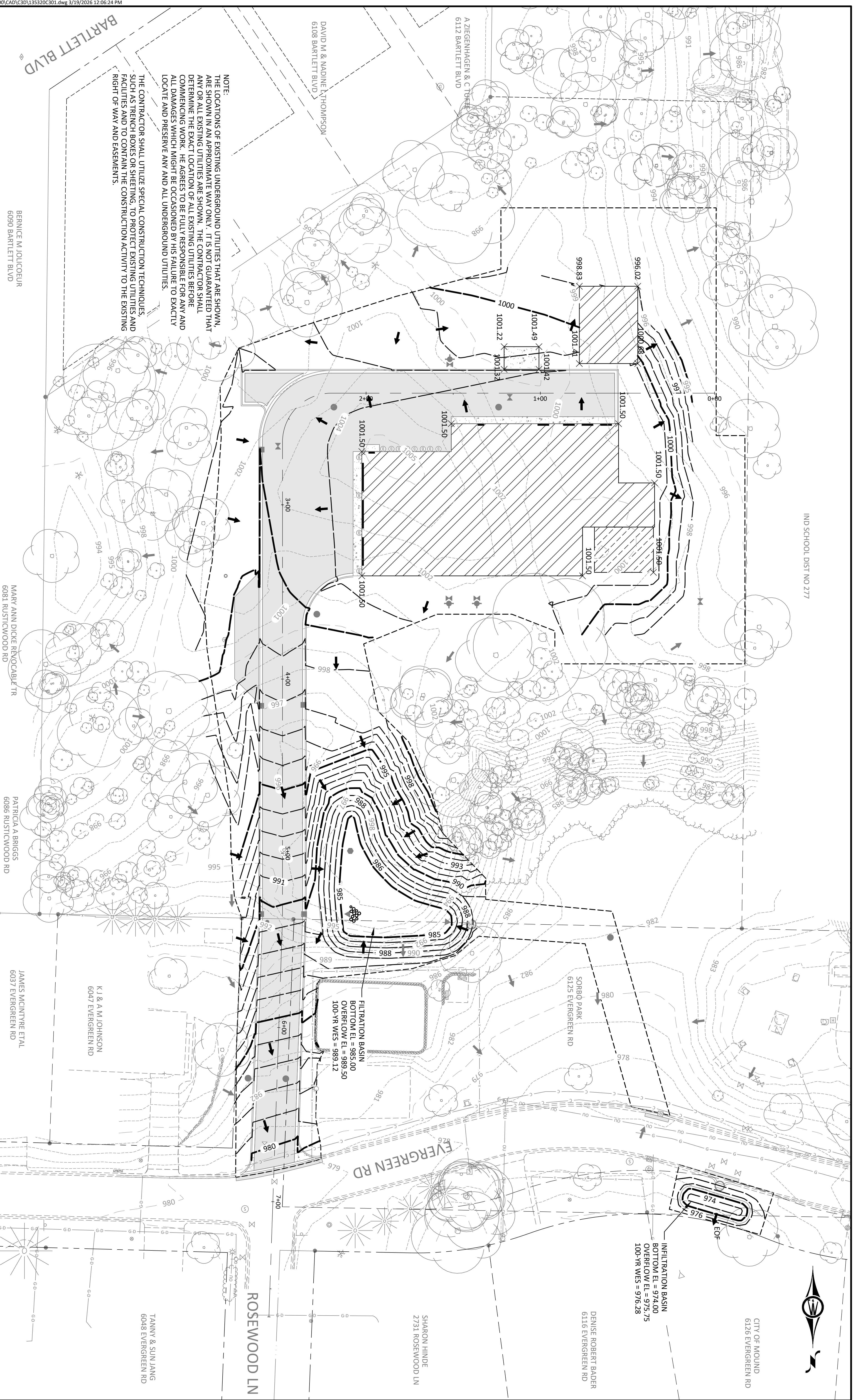


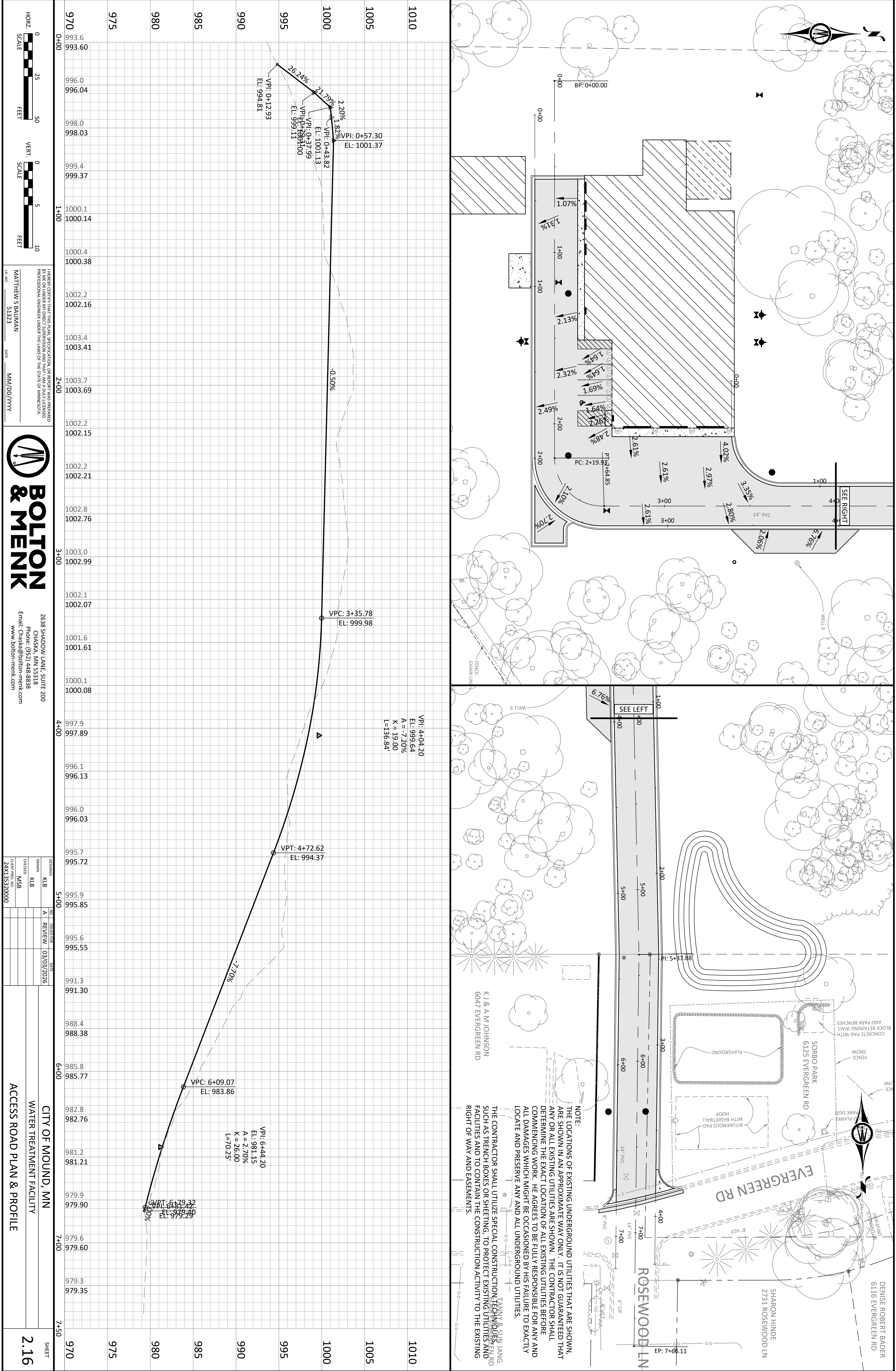
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DESIGNED BY	KLB	DATE	03/03/2026
DRAWN BY	KLB	DATE	03/03/2026
CHECKED BY	MSE	DATE	
CUSTOMER PROJECT NO.	24X135320000		

CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 GRADING PLAN

SHEET
 2.15





NOTE:
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THE CONTRACTOR SHALL UTILIZE SPECIAL CONSTRUCTION TECHNIQUES AND SUCH AS TRENCH BOXES OR SHEETING, TO PROTECT EXISTING UTILITIES AND FACILITIES AND TO CONTAIN THE CONSTRUCTION ACTIVITY TO THE EXISTING RIGHT OF WAY AND EASEMENTS.

HORIZONTAL SCALE: 1" = 25 FEET
 VERTICAL SCALE: 1" = 10 FEET

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

MATTHEW S BAUMANN
 LICENSE NO. 51323 DATE MM/DD/YYYY

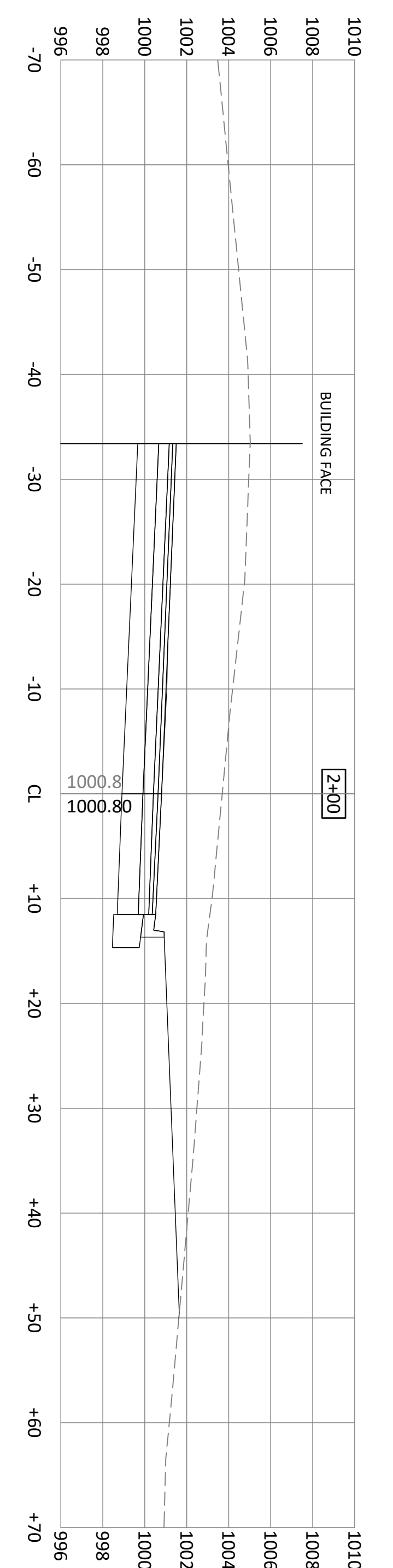
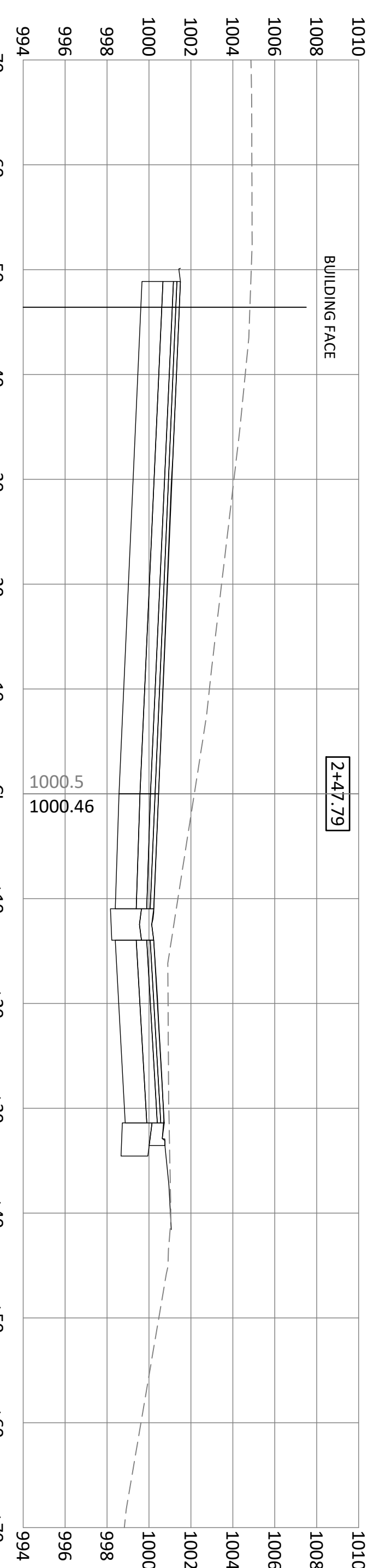
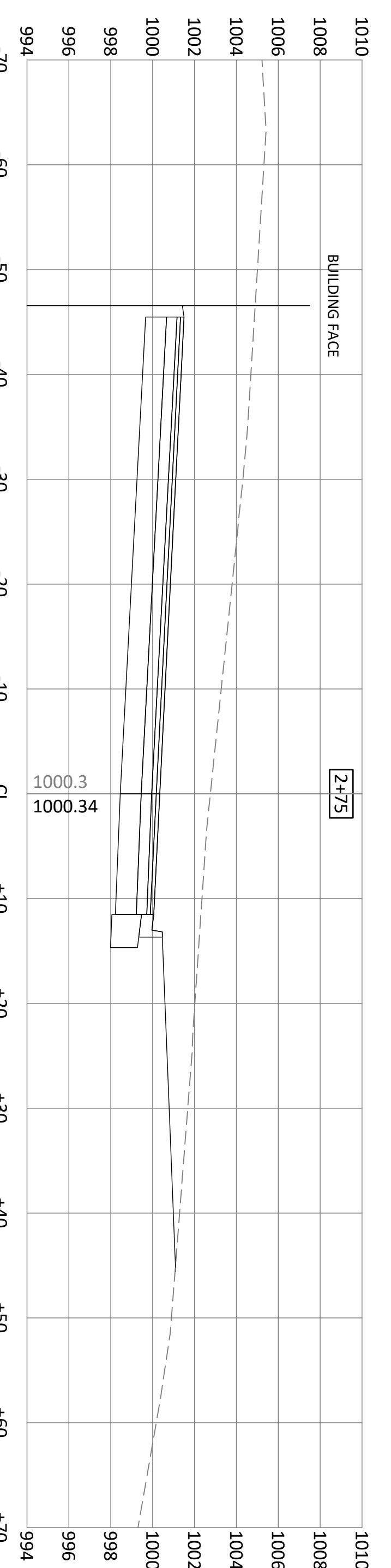
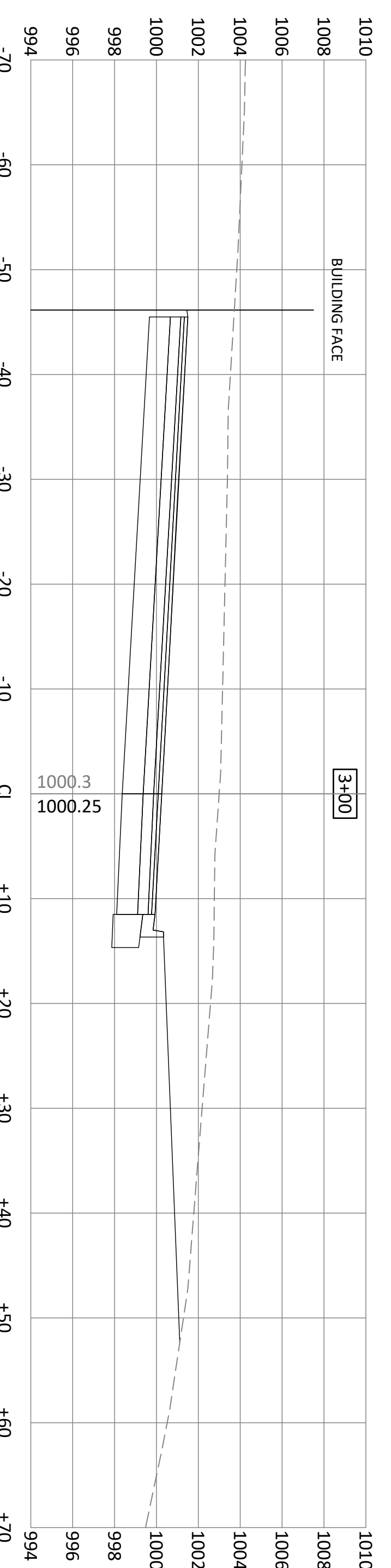
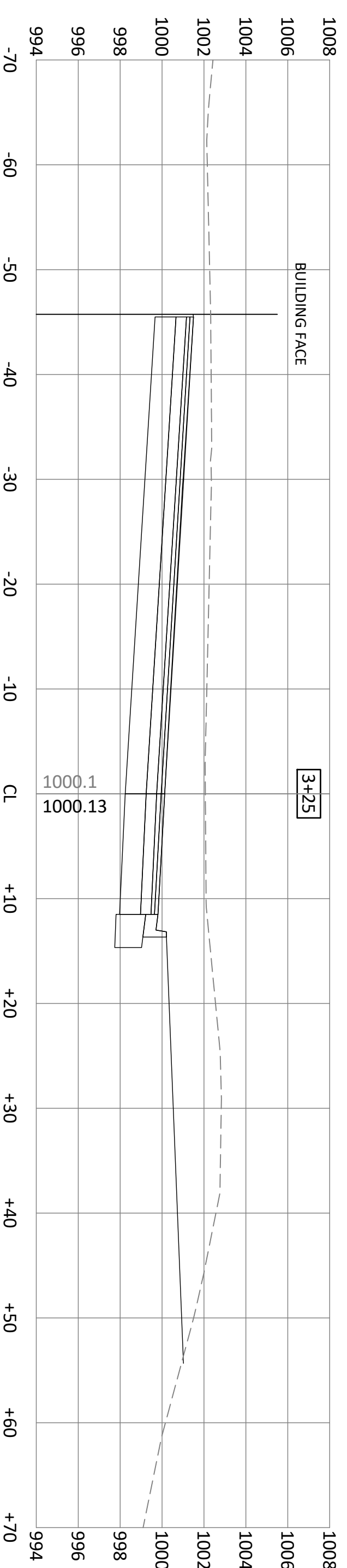
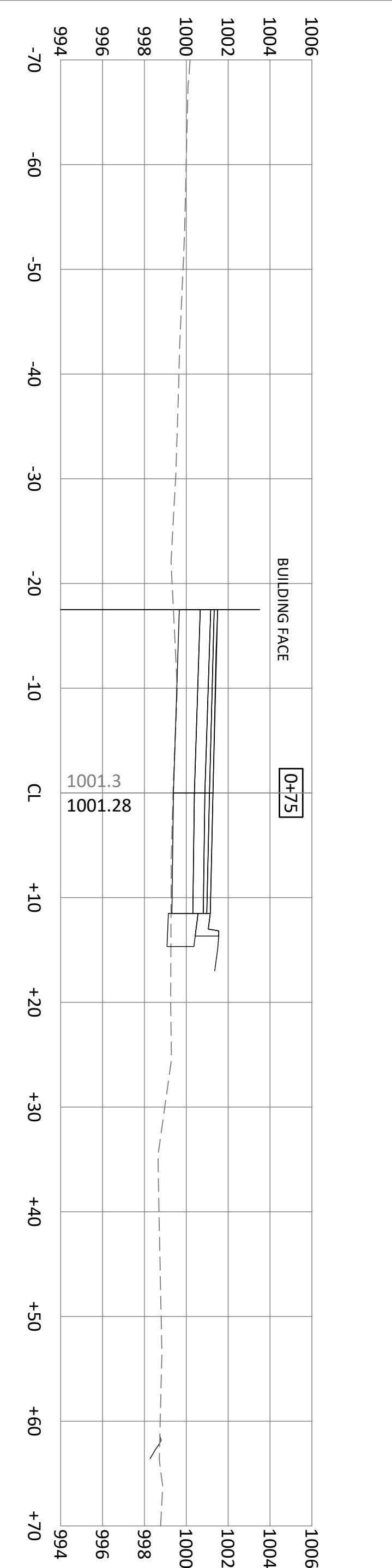
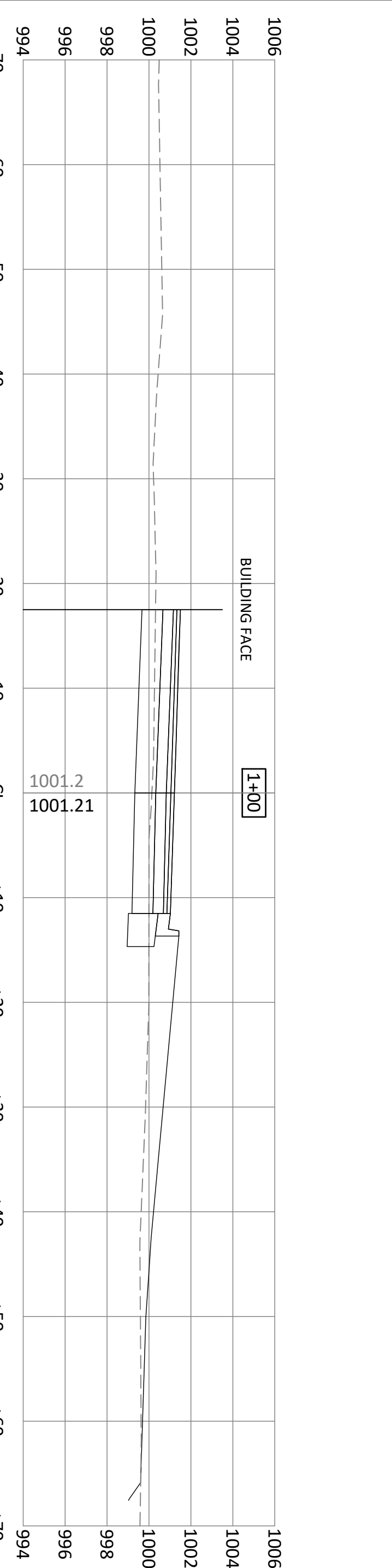
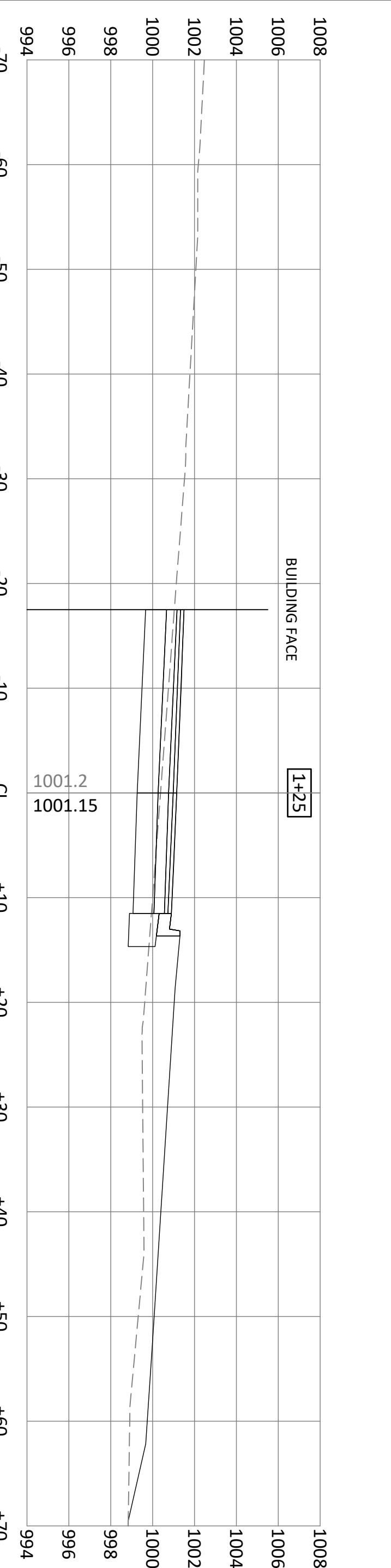
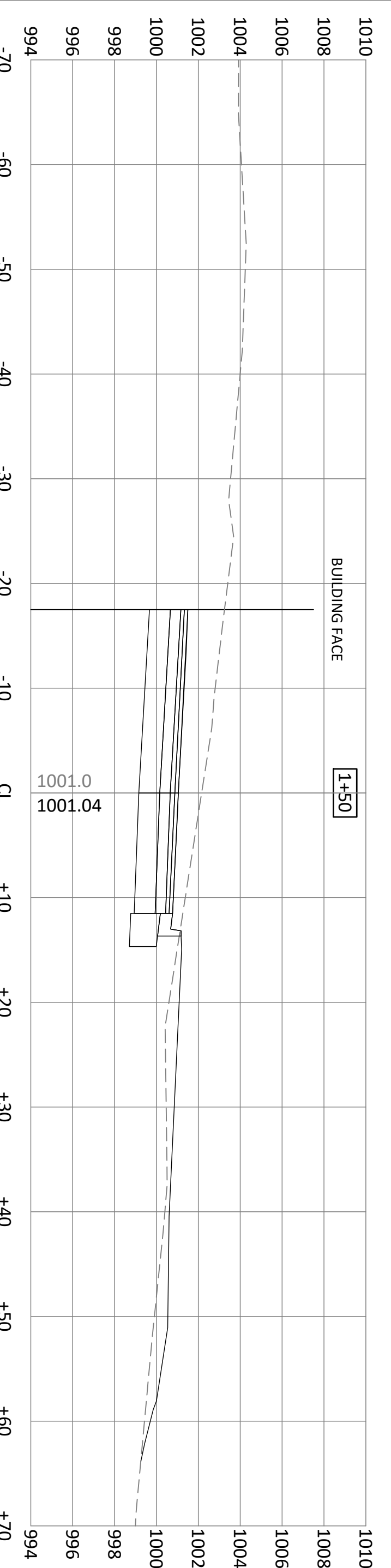
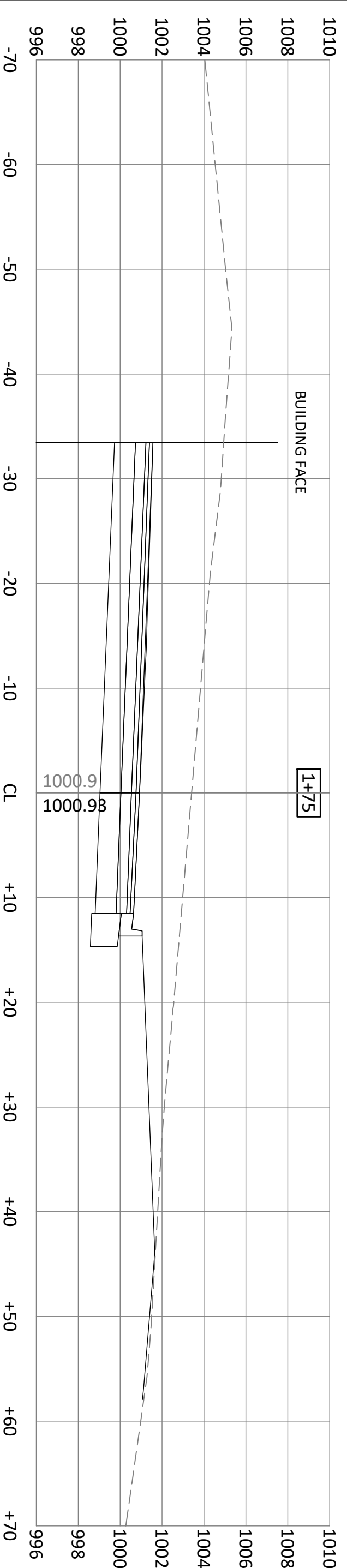
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DESIGNED	KLB	DATE	03/03/2026
DRAWN	KLB	REVIEW	03/03/2026
CHECKED	MSE		
CUSTOMER PROJECT NO.	24135320000		

CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 ACCESS ROAD PLAN & PROFILE

SHEET
2.16



HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED OR SUPERVISED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

MATTHEW S BAUMANN
 LIC. NO. 51323 DATE MM/DD/YYYY

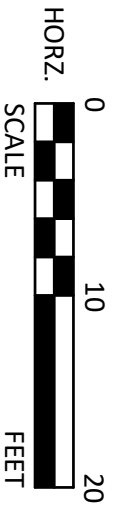
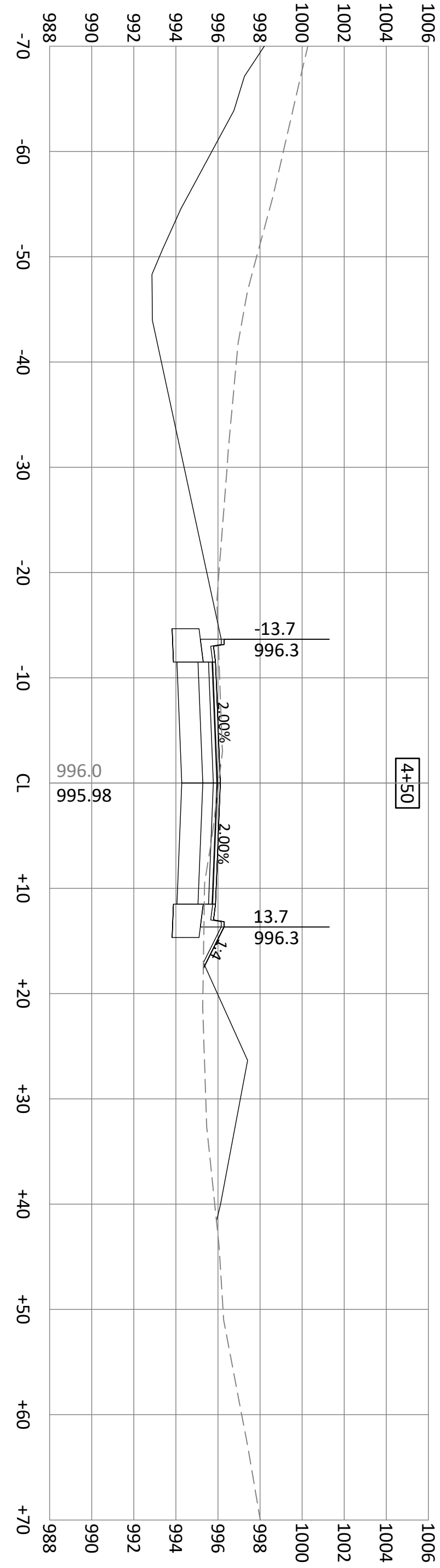
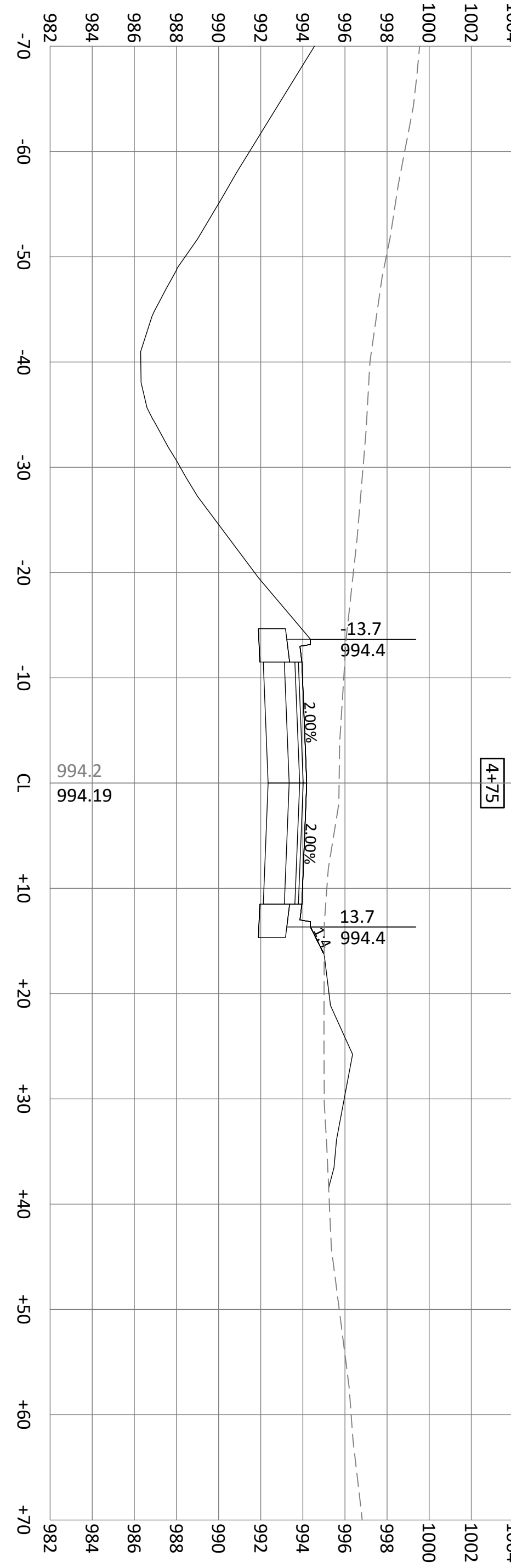
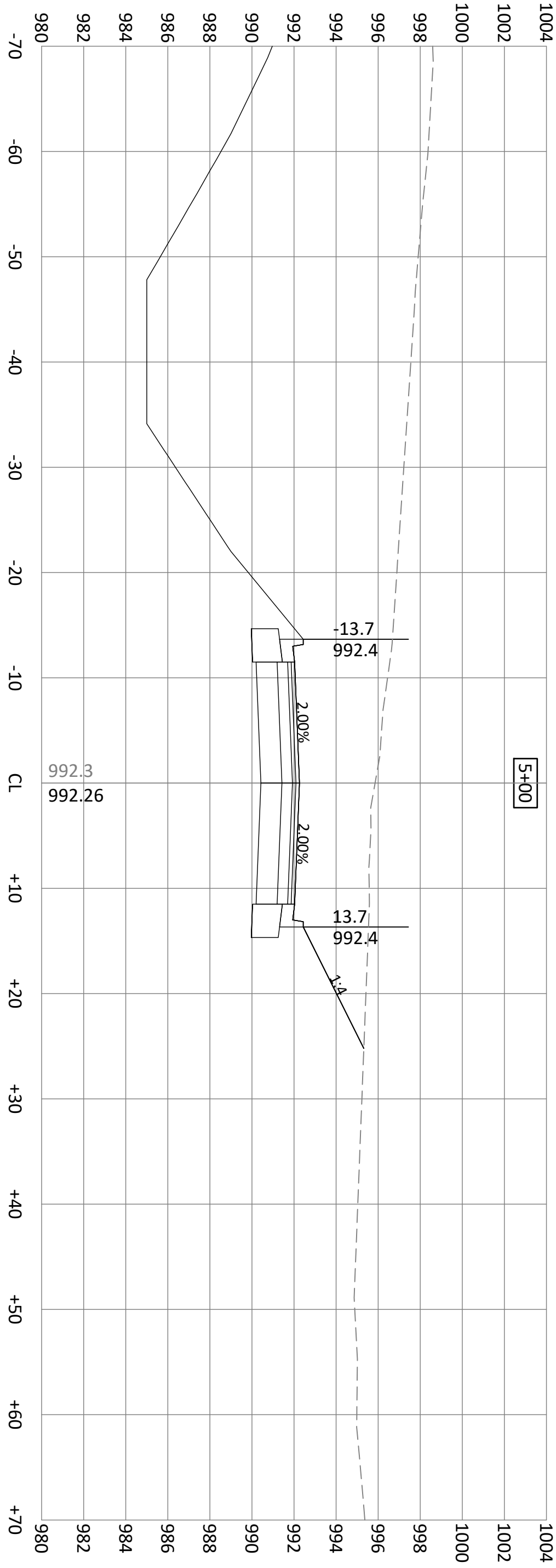
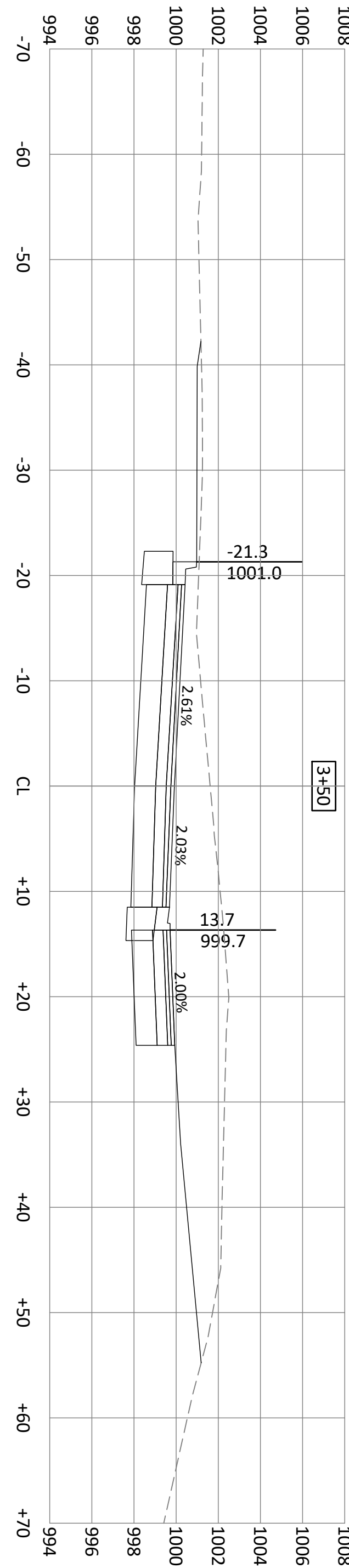
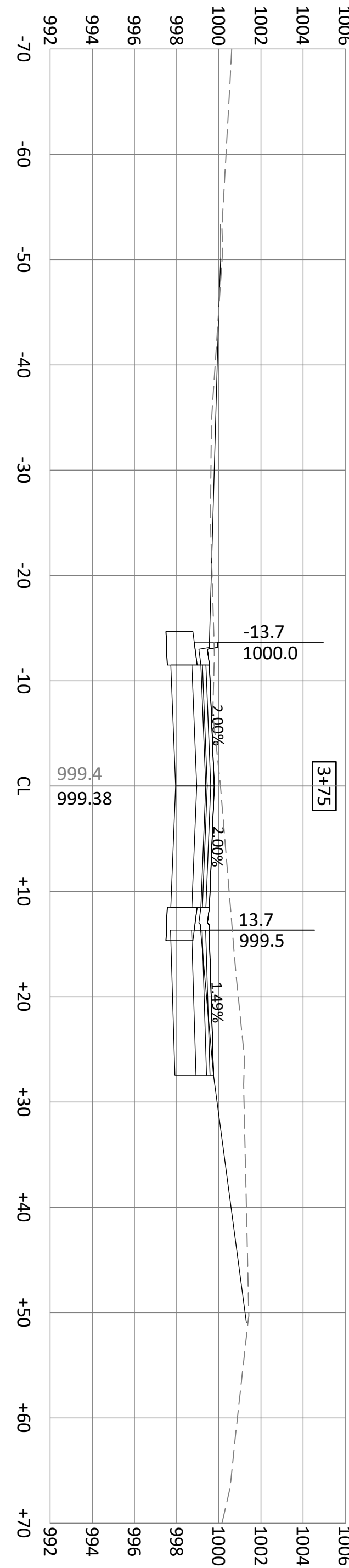
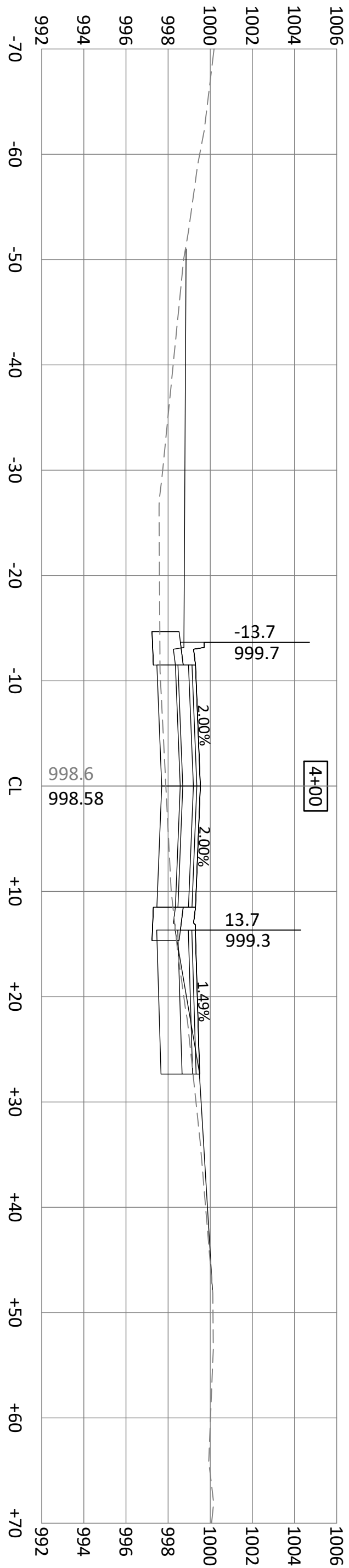
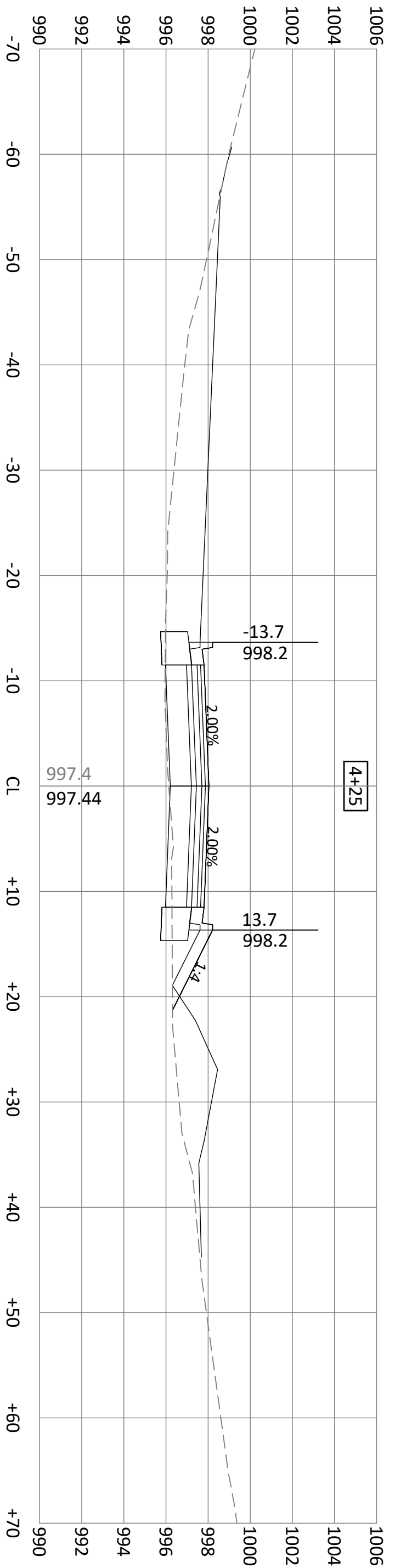


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DESIGNED BY	KIB	DATE	03/03/2026
DRAWN BY	KIB	REVIEW	
CHECKED BY	MSE		
CUSTOMER PROJ. NO.	24X135320000		

CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 ACCESS ROAD CROSS SECTIONS

SHEET
 2.17



HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED OR SUPERVISED BY A REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
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 LIC. NO. 51323 DATE MM/DD/YYYY

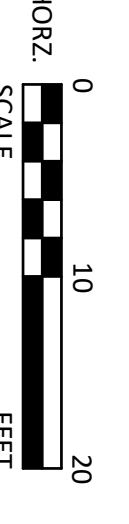
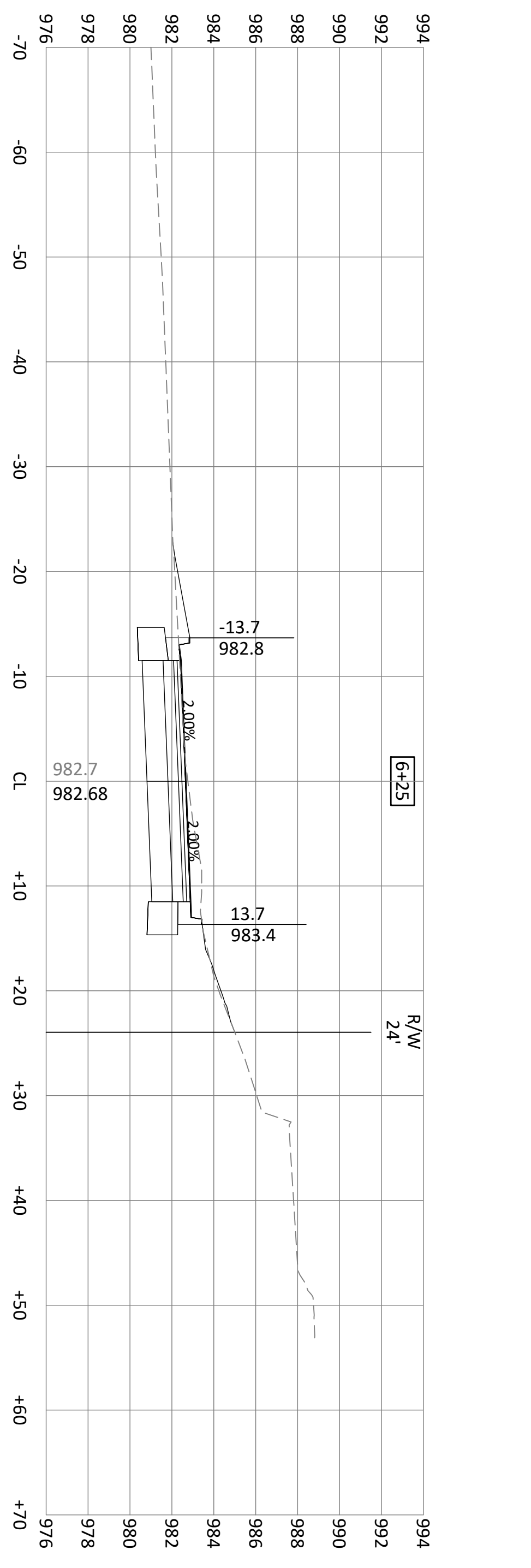
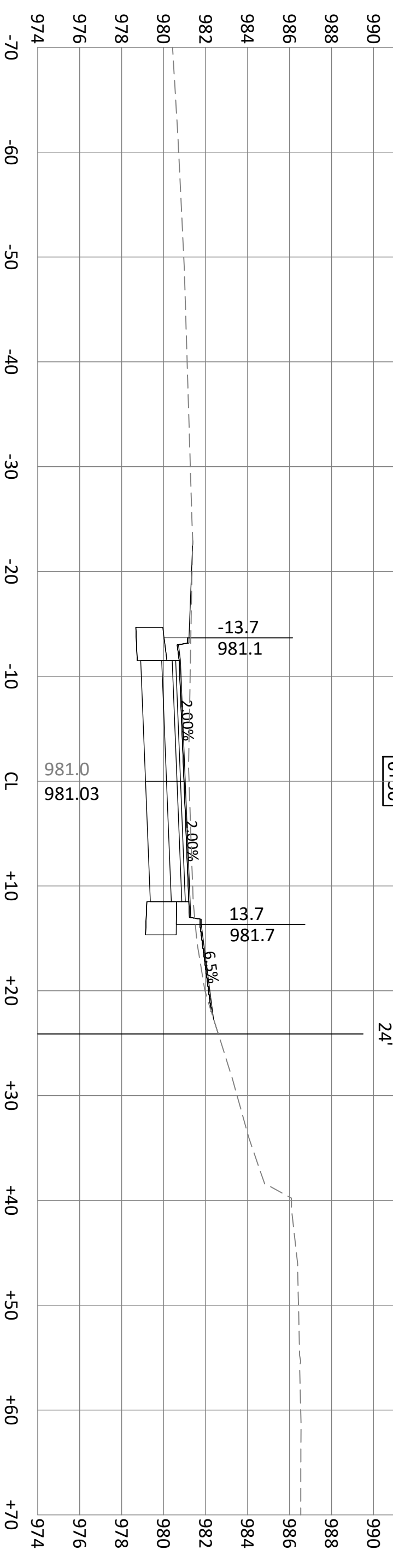
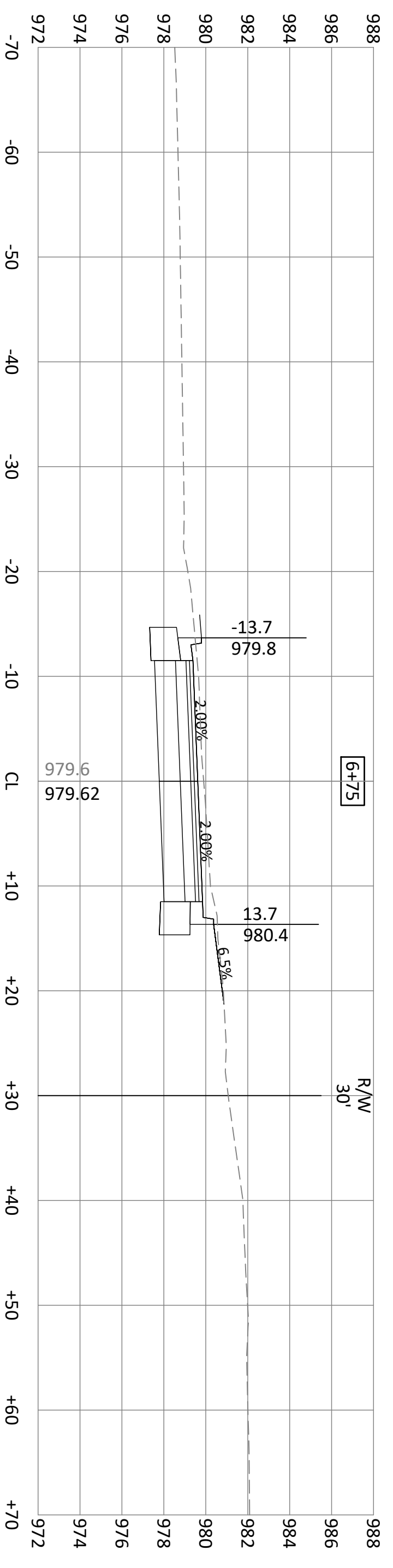
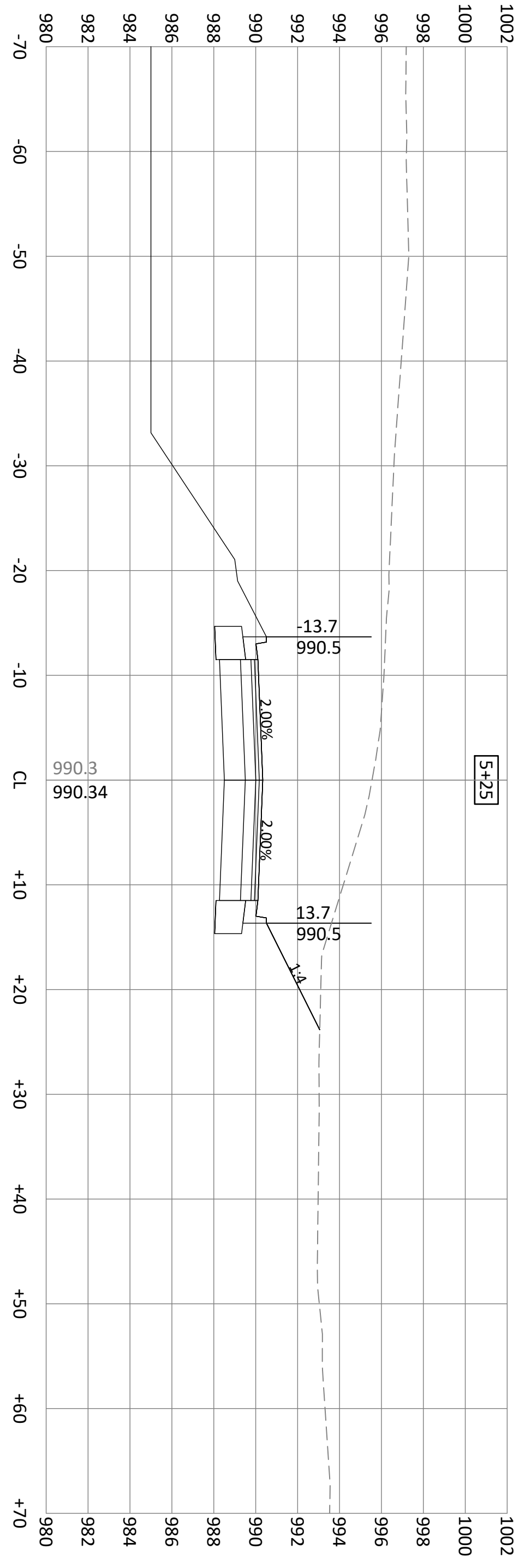
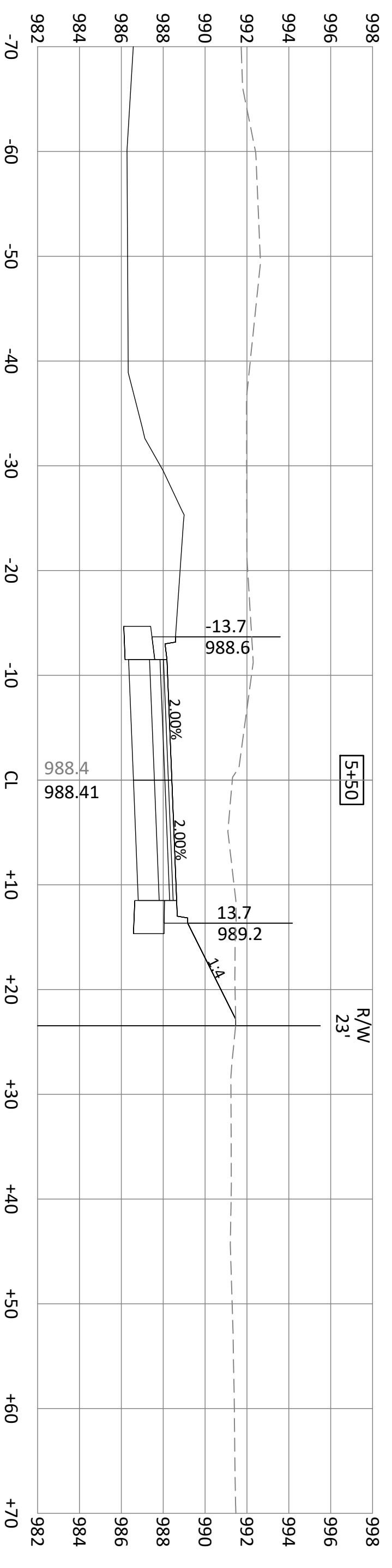
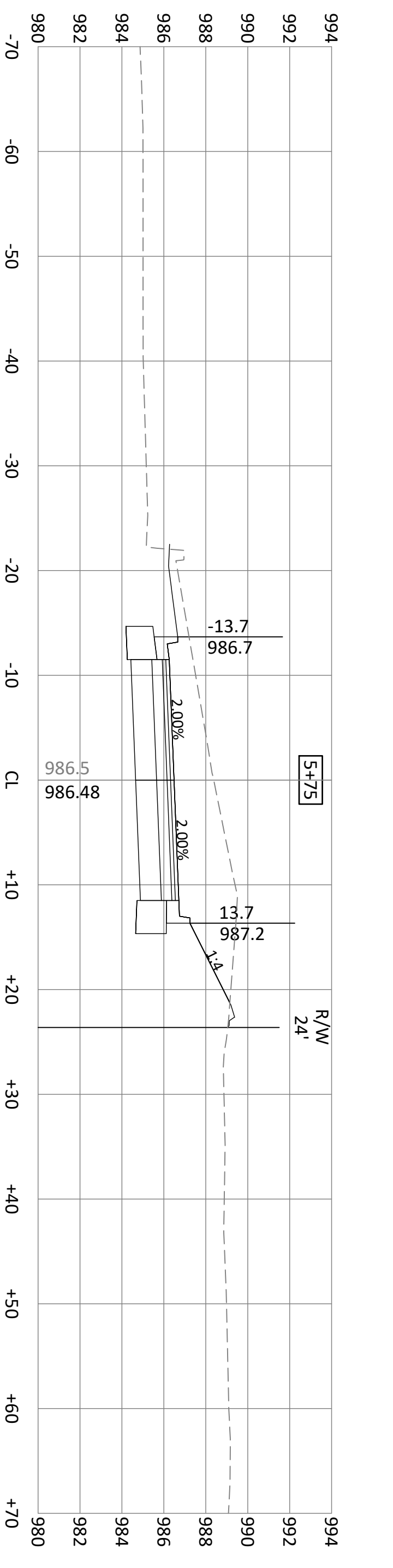
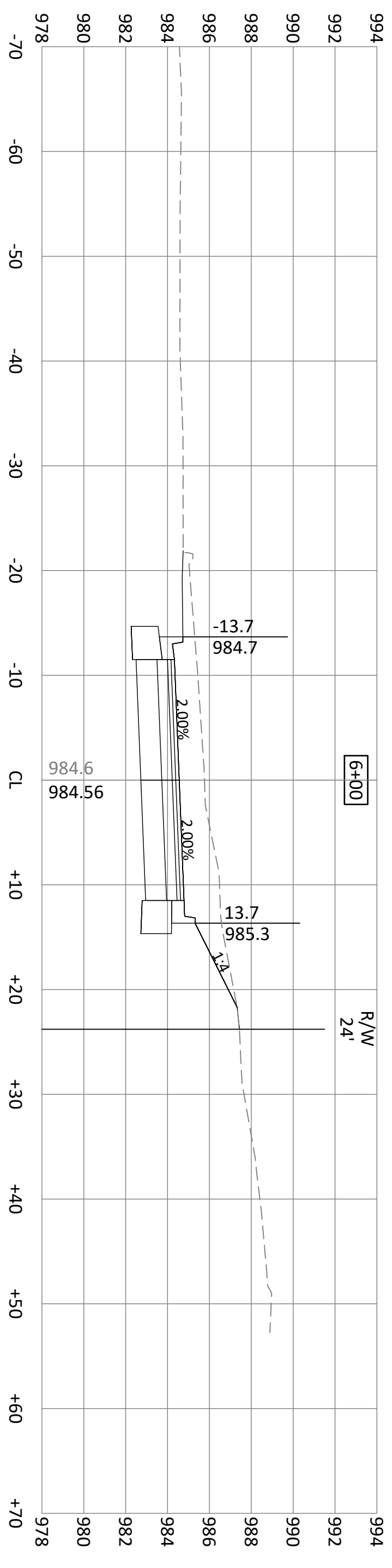


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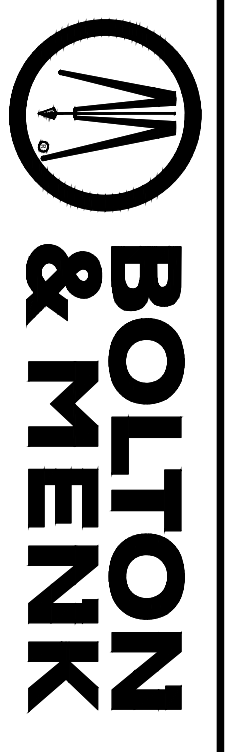
DESIGNED	KLB	DATE	03/03/2026
DRAWN	KLB	REVIEW	
CHECKED	MSE		
CUSTOMER FILE NO.	24\135320000		

CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 ACCESS ROAD CROSS SECTIONS

SHEET
 2.18



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED OR UNDER THE CLOSE PERSONAL SUPERVISION AND CONTROL OF ME, A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 MATTHEW S BAUMANN
 LIC. NO. 51323 DATE MM/DD/YYYY



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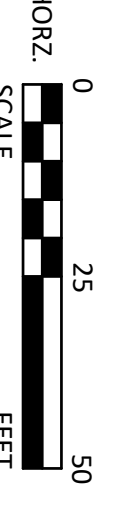
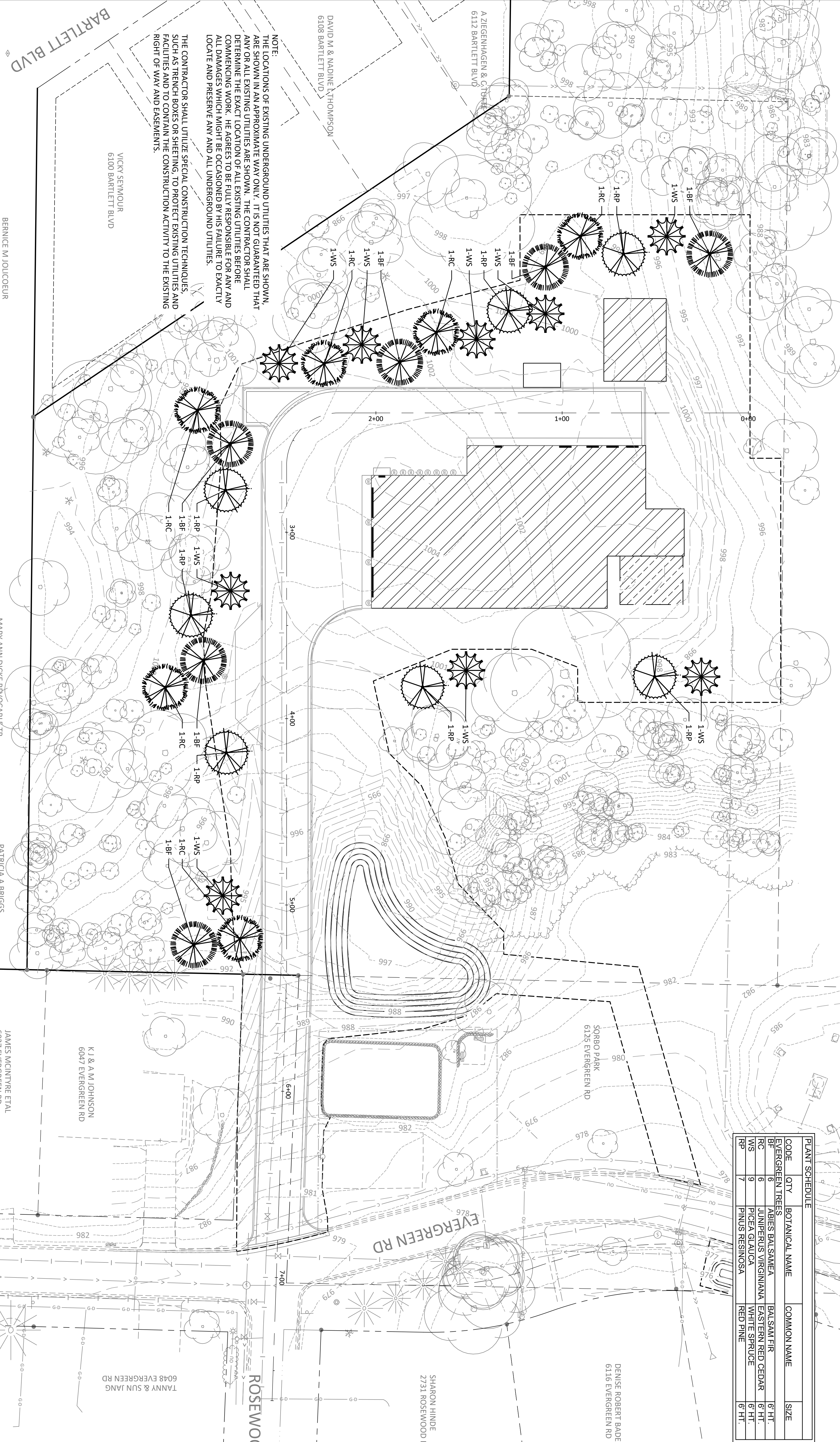
DESIGNED	KLB	DATE	03/03/2026
DRAWN	KLB	REVIEW	
CHECKED	MSE		
CUSTOMER PROJECT NO.	24X135320000		

CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 ACCESS ROAD CROSS SECTIONS

SHEET
2.19

IND SCHOOL DIST NO 277

PLANT SCHEDULE			
CODE	QTY	BOTANICAL NAME	COMMON NAME
EVERGREEN TREES			
BF	6	ABIES BALSAMEA	BALSAM FIR
RC	6	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR
WS	9	PICEA GLAUCA	WHITE SPRUCE
RP	7	PINUS RESINOSA	RED PINE
			SIZE
			6 HT.
			6 HT.
			6 HT.



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 MATTHEW S BAUMANN
 LICENSE NO. 51323 DATE MM/DD/YYYY



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DATE	BY	DESCRIPTION
03/03/2026	A	REVIEW
03/03/2026	KLB	DRAWN
	MSE	CHECKED
		CUSTOMER FILE NO. 24X135320000

CITY OF MOUND, MN
 WATER TREATMENT FACILITY
 LANDSCAPE PLAN

SHEET
2.20



PLANNING REPORT

TO: Planning Commission
FROM: Rita Trapp, Consulting Planner
Sarah Smith, Community Development Director
DATE: April 2, 2026
SUBJECT: 2026 Code Updates – Corner Lot Setbacks
MEETING DATE: April 7, 2026

At the March 2026 meeting the Planning Commission discussed proposed amendments related to corner yard setback requirements. Staff has incorporated the following recommendations of the Planning Commission in the proposed draft:

- 1) The lot line, front definition was modified so that the Community Development Director determines the front lot line when the two street lot lines are equal. Staff will file the determination in the city's property records.
- 2) In the table for 129-197, the title of the first column was changed from front lot line length to lot width to ensure consistency across all of the tables. Lot width was determined to be the preferred term because for some lots, such as cul-de-sacs, the front lot line length is relatively small as compared to the lot width.
- 3) A typo was corrected in Section 129-194 regarding accessory buildings where the word "yard" was invertedly dropped from the regulations.

The Planning Commission is asked to review the proposed amendments and recommend that Staff prepare the ordinance amendments for a public hearing and consideration at the City Council meeting.

A. Section 129-2 Definitions.

Lot line, front, means that boundary of a lot which abuts an existing or dedicated public street. In the case of a corner lot it shall be the shortest dimension on a public street or as otherwise designated by the Community Development Director based on the practical front yard of the property as determined by such factors as the existing or proposed building configuration of the property and taking into consideration the characteristics of the surrounding properties. If the dimensions of a corner lot are equal, the front line shall be designated by the ~~owner~~ Community Development Director and filed with in the city's property files. For ~~the purpose of this chapter of determining the assignment of lot lines~~, a lot shall have only one front ~~setback~~ lot line.

Lot line, street side means a boundary of a corner lot which abuts an existing or dedicated public street and which has not been designated as the front lot line. Typically, this line is the longest dimension fronting on a public street unless otherwise designated by the Community Development Director or the property owner as noted in the definition of “lot line, front.”

B. Section 129-197 Required yards and open space

(e) Corner lots.

(1) The minimum street side yard setback requirement for corner lots shall match the required front yard setback for the applicable zoning district, except that corner lots of record shall provide the following street side yard setbacks:

<u>Lot width</u>	<u>Minimum street side yard setback</u>
<u>Less than 50 feet</u>	<u>10 feet</u>
<u>50 to less than 80 feet</u>	<u>20 feet</u>
<u>80 feet or greater</u>	<u>Match front yard setback requirement which is based on lot depth</u>

(2) In cases where the required street side yard setback is greater than the required front yard setback, the street side yard setback requirement shall be reduced to match the front yard setback.

(3) The setback for the side yard that is not a street side yard shall follow applicable zoning district requirements.

C. Section 129-100 Single-family residential (R-1).

(3) *Setback requirements for lots of record (R-1).* The following minimum setback requirements shall be observed for lots of record (R-1).

a. *Side yard requirements.* Except for a corner street side yard setback as regulated in section 129-197(e), the required side yard setback for one of the side yards shall be a minimum of 10 feet, while the other side yard setback shall be as follows:

<i>Minimum Side Yard Setback</i>	
<i>Lot Width</i>	<i>On One Side Yard</i>
<u>Less than 40 to 79</u> 80 feet	6 feet
80 to <u>less than</u> 100 feet	8 feet
<u>100->101</u> feet <u>and greater</u>	10 feet

b. *Front yard.* Except as regulated in section 129-197(f)*, The front yard setback shall be based on the lot depth as follows:

<i>Minimum Front Yard Setback</i>

<i>Lot Depth</i>	<i>Setback</i>
<u>Less than</u> < 60 feet	20 feet
60 <u>±</u> to <u>less than</u> 80 feet	24 feet
> <u>810</u> feet and greater	30 feet

D. Section 129-101 Single-family residential (R-1A) and 129-102 Two-family residential (R-2).

- (3) Setback requirements for lots of record. Side yard setbacks shall be six feet and six feet unless:
- a. The structure or site does not contain a garage in which case, one side yard setback shall be ten feet to accommodate a driveway access.
 - b. The lot is a corner lot, in which case the corner street side yard setback shall be as regulated in section 129-197(e).

C. Section 129-194 Accessory buildings.

(f) Accessory residential building setback requirements.

(1) Side yard setbacks.

a. A detached accessory building may be located within four feet of the side lot line in the rear yard with a minimum of a six foot setback in side yard location.

b. On through and lakeshore lots that are not corner lots, a detached accessory building may be located within four feet of the side lot line in the front yard.

c. On corner lots, detached accessory buildings shall meet the street side yard setback requirements for principal buildings. The setback for the side yard that is not a street side yard shall follow applicable zoning district requirements.

d. Whenever a garage is so designed that the doors face a side street side yard or side property line, the distance between the doors and the property line shall be 20 feet or more.

(2) Front yard setbacks.

a. All accessory buildings shall meet the same front yard setback requirements as the principal building, except for lakeshore and through lots.

b. For detached garages on a lakeshore or through lots, a minimum 20-foot front yard setback is required if the garage door opens to the any street; an eight-foot front yard setback is required if the garage door opens to the side lot line.



PLANNING REPORT

TO: Planning Commission
FROM: Rita Trapp and Mia Colloredo-Mansfeld, Consulting Planners
Sarah Smith, Community Development Director
DATE: April 2, 2026
SUBJECT: 2026 Code Updates – ADA Parking Stall Design
MEETING DATE: April 7, 2026

After recent review of projects by the Building Official, staff has learned that the current Mound City Code does not accurately reflect the minimum required design standards for disability parking stalls. Section 129-323 (C) of the Mound City Code currently states that:

“Handicapped parking shall be provided and constructed pursuant to state law with stalls of not less than 12 feet wide and 20 feet in length.”

According to the Building Official, there is no minimum length for handicapped parking stalls. State guidance on disability parking design notes that the minimum width of stalls is 96 inches (8 ft) with a minimum of a 96 inch (8 foot) wide access aisle between stalls. The 96-inch access aisle must extend the full length of the stall.

Staff has developed the following proposed code amendments based on comments from the Building Official and State guidelines. If the proposed changes are appropriate, Staff will draft the proposed amendment for public hearing consideration at a subsequent meeting.

Sec. 129-323. Parking.

(c) Design and maintenance of off-street parking areas.

(1) Parking spaces. Each parking space shall not be less than nine feet wide and 18 feet in length exclusive of an adequately designed system of access drives. Handicapped parking shall be provided and constructed pursuant to state law with stalls of not less than ~~12 feet~~ 96-inches wide and 20 feet in length a minimum 96-inch-wide access aisle between stalls. The 96-inch access aisle must extend the full length of the stall.



PLANNING REPORT

TO: Planning Commission
FROM: Rita Trapp and Mia Colloredo-Mansfeld, Consulting Planners
Sarah Smith, Community Development Director
DATE: April 2, 2026
SUBJECT: 2026 Code Updates – Humane Pet Store
MEETING DATE: April 7, 2026

At the Joint Meeting of the City Council and Planning Commission held on February 17th, Staff was directed to create a Humane Pet Store Ordinance. Staff reviewed precedent ordinances from Minnesota cities with existing Humane Pet Store ordinances and developed a draft ordinance based on this research.

The focus of this ordinance is on prohibiting the sale of cats and dogs at pet stores to prevent inhumane breeding conditions, promote community awareness of animal welfare, and foster a more humane environment in the city. The proposed ordinance does not prohibit pet stores from collaborating with animal shelters, rescue organizations, or animal control authorities to offer adoption events. The ordinance requires certificate of source records be maintained for all cats and dogs.

The following language is the proposed Humane Pet Store Ordinance language. If the proposed language is appropriate, staff will draft an ordinance for public hearing at a subsequent City Council meeting.

A. Section 129-2 Definitions.

Animal control authority means any governmental entity which is responsible for animal control operations in its jurisdiction.

Animal rescue organization means any not-for-profit organization which has tax-exempt status under section 501(c)(3) of the federal Internal Revenue Code, whose mission and practice is, in whole or in significant part, the rescue of animals and the placement of those animals in permanent homes, and which does not breed animals.

Animal shelter means any not-for-profit organization which has tax-exempt status under section 501(c)(3) of the federal Internal Revenue Code, which:

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Accepts animals into a physical facility;

Is devoted to the rescue, care, and adoption of stray, abandoned, unwanted or surrendered animals;

Places animals in permanent homes or with animal rescue organizations; and

Does not breed animals.

Certificate of source means a document from an animal control authority, animal rescue organization, or animal shelter which shall provide a brief description of the dog or cat, and shall list the name, address, and telephone number of the source (animal control authority, animal rescue organization, or animal shelter) of the dog or cat.

Pet store means any retail establishment, or operator thereof, which displays, sells, delivers, offers for sale, barter, auctions, gives away, or otherwise transfers companion animals in the city. The term "pet store" does not apply to animal control authorities, animal shelters, or animal rescue organizations.

Pet store operator means a person or business entity who owns or operates a pet store.

B. Section 129-331 Pet stores.

(a) Prohibition on sales.

- (1) No pet store shall sell, deliver, offer for sale, barter, auction, give away, or otherwise transfer or dispose of cats or dogs.
- (2) Nothing in this section shall prohibit pet stores from collaborating with animal shelters, animal rescue organizations, and animal control authorities to offer space for such entities to showcase adoptable dogs and cats inside pet stores.
 - a. Such animals shall not be younger than eight weeks old.
 - b. Dogs that are showcased for adoption shall not be kept overnight at a pet store.
 - c. Cats that are showcased for adoption shall not be kept overnight at a pet shop without provision for care and monitoring outside of pet store business hours.

(b) Certification of Source.

- (1) A pet store shall post and maintain a certificate of source in a conspicuous place on or within three feet of each dog's or cat's kennel, cage, or enclosure.
- (2) A certificate of source shall be provided to the adopter of any dog or cat.
- (3) Certificate of source records for each dog or cat shall be maintained by a pet store for at least one year from the last date that a dog or cat appeared in the store.
- (4) Pet stores shall make certificates of source immediately available for review upon the request of a peace officer or animal control authority, or a humane agent pursuant to Minn. Stat. § 343.06 acting on behalf of the city.
- (5) Falsification of a certificate of source shall be deemed a violation of this section.

(c) Inspection.

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- (1) Upon prior notice to the owner or occupant of a pet store, a City employee is authorized hereby to inspect the pet store for the purpose of ensuring compliance with this section.
- (d) Violation. A violation of this section shall constitute an administrative offense under section XX of the City Code and subject the pet store operator to the procedures therein and penalties contained as provided in the city fee schedule.